

**MADISON COUNTY FISCAL COURT
MADISON COUNTY, KY
RESOLUTION 2022-72**

**A RESOLUTION APPROVING A LEASE AGREEMENT BETWEEN
MADISON COUNTY FISCAL COURT AND THE KENTUCKY
ADMINISTRATIVE OFFICE OF THE COURTS**

WHEREAS, the Madison County Fiscal Court (hereinafter the "Local Government" or "Lessor") agrees to lease office space and parking spaces at the Madison County Temporary Circuit Courthouse to the Kentucky Administrative Office of the Courts (hereinafter "AOC" or the "Lessee"); and

WHEREAS, the Lessee agrees to reimburse the Lessor for the use of office space and parking spaces at the Madison County Temporary Circuit Courthouse located at 116 West Main Street, Richmond, Kentucky as stated in the Agreement; which is attached hereto this Resolution; and

WHEREAS, the Lessee agrees to take good care of the premises and to return them at the expiration of their lease in as good order as received, ordinary wear and tear and natural decay excepted;

NOW, THEREFORE, BE IT RESOLVED THAT THE FISCAL COURT DOES HEREBY APPROVE TO ENTER INTO THIS AGREEMENT AND AUTHORIZES THE JUDGE EXECUTIVE AND/OR HIS DESIGNEE TO EXECUTE SAME ON BEHALF OF THE COUNTY.

Motion made by Tudor, seconded by Barger.

Vote:	Yes	No
Judge Executive Reagan Taylor	<u>/</u>	<u> </u>
Magistrate Ben Robinson III	<u>ABSENT</u>	<u> </u>
Magistrate John Tudor	<u>/</u>	<u> </u>
Magistrate Roger Barger	<u>/</u>	<u> </u>
Magistrate Tom Botkin	<u>ABSENT</u>	<u> </u>

Signed:
R-29
Reagan Taylor
Madison County Judge Executive

5-24-2022
Date

Attested:
Kenny Barger
Kenny Barger
Madison County Clerk

5-24-2022
Date

Commonwealth of Kentucky
Court of Justice www.kycourts.gov

AP Part V, Sec. 3, Sec. 6(1)



LEASE AGREEMENT

(Government Owned or Occupied Property Office Space)

INTERNAL USE ONLY

Check One: ☐ Reimbursement Form

☒ PR#: 8482

Account #: CZ01

Initial Encumbrance: \$ 131,808.00

Annual Encumbrance: \$ 197,712.00

Office/Dept: Temp. Circuit Courthouse

THIS LEASE AGREEMENT (hereinafter the "Lease"), is entered into on the 1st day of May, 2022, by and between Madison County Fiscal Court (hereinafter the "Local Government" or the "Lessor") and the Kentucky Administrative Office of the Courts (hereinafter "AOC" or the "Lessee"), referred to collectively as the "Parties".

IN CONSIDERATION OF the mutual promises contained herein, and other good and valuable consideration, the Parties hereto agree as follows:

1. REPRESENTATIONS AND WARRANTIES OF THE LOCAL GOVERNMENT. The Local Government represents and warrants: (1) it is a validly existing Local Government and/or political subdivision of the Commonwealth of Kentucky; (2) it has the power and has been authorized to enter into this Lease and perform all of its obligations hereunder; and, (3) it is not subject to any contractual or other limitation which would prevent it from entering into this Lease.

2. REPRESENTATIONS AND WARRANTIES OF THE AOC. The AOC represents and warrants: (1) it is an agency of the Commonwealth of Kentucky, Court of Justice (KCOJ); (2) it has the power and has been authorized to enter into this Lease and perform all of its obligations hereunder; and, (3) it is not subject to any contractual or other limitation which would prevent it from entering into this Lease.

3. TERMS OF USE. The Lessor hereby leases to the Lessee and agrees to keep it in quiet and peaceful possession of the leased premises in connection with the operation of the judicial system by the AOC on behalf of the Commonwealth. The leased premises consist of the following described premises with their appurtenances:

116 West Main Street, Richmond, KY Madison
Street Address City County

Said premises consisting of 16,476 square feet to be used by the Circuit Judge and Circuit Clerk for:
Office/Department

☐ Warehouse ☒ Office ☒ Courtroom ☐ Other _____

Per KRS 26A.110, the Local Government shall provide necessary utilities for KCOJ facilities or KCOJ areas within the facilities. Utilities include electricity, water, sanitary sewer and any other fuel required for heating. Unless otherwise agreed, the AOC will provide Telecommunications and Data Infrastructures for KCOJ-occupied space. As additional consideration for the rental payments to be made by the Lessee, the Lessor shall furnish the Lessee with:

☒ Parking Space(s) ☒ Other: Janitorial-20+Parking spaces

The Lessee agrees to take good care of the premises and to return them at the expiration of their lease in as good order as received, ordinary wear and tear and natural decay excepted.

4. RENT. The total annual rent for the leased premises is \$197,712.00, which the Lessee agrees to pay to the Lessor on a quarterly basis at the rate of \$49,428.00 per quarter

☒ by check; or

☐ included in the quarterly reimbursement payment as shown on the Local Government's annual Reimbursement Form.

5. **OPERATING COSTS.** The AOC ☐ will ☒ will not pay operating costs for the Leased Premises to the Lessor. Operating costs, if any, shall be paid as set forth in the annual Court Facilities Reimbursement Form. "Operating costs" are compensation equivalent to the annual expenses borne by the Lessor for utilities, janitorial service, insurance, and necessary maintenance, repair and upkeep of the facility which do not increase the permanent value or expected life of the facility but keeps it in efficient operating condition. Operating costs will be paid quarterly, and will remain constant except where a subsequent audit by the AOC shows any required increase or decrease in the amount of the operating cost allowance.
6. **TERM OF LEASE.** Subject to the limitations imposed by laws and as provided in paragraphs 7, 8 and 20 of this Lease, the term during which this Lease shall be effective shall begin 11/1/2022 and end 6/30/24. If the Lessee occupies the leased premises for less than a full calendar month, then rent shall be prorated based on the actual number of days of occupancy for that month. This lease supersedes all prior Lease Agreements between the Local Government and the AOC concerning the leased premises.
7. **AUTOMATIC RENEWALS.** Unless the Lessee shall give the Lessor written notice thirty (30) days prior to the expiration of the term or any extension that it will not be extended, this lease shall be extended automatically upon the same terms and conditions herein for additional periods of twenty four (24) months unless it is amended in writing or until the AOC ceases to occupy the Leased Premises.
8. **TERMINATION.** The AOC shall have the right to terminate this lease at any time upon thirty (30) days written notice. The thirty (30) day time period shall be computed from date of mailing the written notice. Termination under this Paragraph shall not be considered effective until the last day of the month in which the notice period ends.
9. **ASSIGNMENT.** The Lessee agrees not to assign this Lease, or to sublet the premises except to a desirable tenant and for a similar purpose, and will not permit the use of the premises by anyone other than the Commonwealth, the Federal Government, or such sublessee, and the agents and servants of the Commonwealth, the Federal Government, or such sublessee.
10. **FIXTURES.** The Lessee shall have the right during the existence of this Lease to make alterations, attach fixtures, and erect additions, structures, or signs, in or upon the leased premises, provided such alterations, additions, structures, or signs shall not be detrimental to or inconsistent with rights granted to other tenants on the property or in the building in which the premises are located. Fixtures, additions, structures or signs placed in or upon or attached to the premises shall remain Court of Justice property and may be removed by it prior to the termination of this lease.
11. **MAINTENANCE, REPAIR AND UPKEEP.** Unless otherwise specified, the Lessor shall maintain the leased premises in good repair and tenantable condition, except in case of damage arising from the negligent acts of the Lessee's agents or employees. For the purpose of maintaining the leased premises and to make necessary repairs, the Lessor reserves the right to enter and inspect the leased premises at reasonable times. Lessor's maintenance and repair obligations shall include, but not be limited to, the mechanical, electrical, interior lighting (including replacement of ballasts, starters and fluorescent tubes as required), plumbing, heating, ventilating and air-conditioning systems (including replacement of filters as recommended in equipment service manual), floor coverings, window coverings, elevators, inside and outside walls (including windows and entrance and exit doors), all structural portions of the building (including the roof and the watertight integrity of the same), porches, stairways, sidewalks, exterior lighting, parking lot, landscaping, and continuous satisfaction of all governmental requirements generally applicable to similar buildings in the area. The Lessor is solely and fully responsible for maintaining any and all common areas of the building in which the leased premises are located. For purposes of this Lease, "common areas" include any interior areas for joint use by tenants, invitees, or the public, as well as parking areas, sidewalks, and walkways for which rights to use are expressly granted herein or are reasonably necessary or reasonably anticipated with respect to the Lessee's enjoyment of the leased premises.

Lessor shall save and hold Lessee, its officers, directors, employees, agents, contractors and subcontractors harmless for any and all injuries, damages, causes of action, claims, lawsuits, judgments, costs and expenses, including attorney's fees and costs, (1) arising out of the Lessor's performance of its duties under this Lease or caused by the Lessor's officers, directors, employees, agents, contractors, or subcontractors; or (2) arising from defects or deficiencies in the leased premises or common areas of the property, whether or not these defects are hidden or apparent. To the extent that Lessor may be subject to the Kentucky Claims Commission Act, KRS Chapter 49, the Parties acknowledge that Lessor's liability pursuant to this provision may be limited by the Act.

12. **SNOW AND ICE REMOVAL.** Lessor shall provide snow and ice removal services for the leased premises including parking spaces, if provided. Lessor shall clear sidewalks, walkways, and other entrances and keep them free of ice and snow. The Lessor shall remove excess ice melt to minimize slipping hazards.
13. **HAZARDOUS MATERIALS.** The leased premises shall be free of actionable mold and of hazardous materials, hazardous substances, and hazardous wastes, as defined by and according to applicable Federal, state, and local environmental regulations. Should there be reason to suspect otherwise, the Lessee reserves the right, at Lessor's expense, to require documentation or testing to confirm that the leased premises is free of all such materials or substances.
14. **INSURANCE.** Lessor shall be responsible for procuring and continuously maintaining casualty and liability insurance on the leased premises. Lessor shall provide proof of insurance to Lessee within fourteen (14) days of the effective date of this Lease.
15. **BREACH AND CURE OF LESSOR.** Upon receiving notice of a condition requiring cure, the Lessor shall initiate and complete a cure or repair of such condition within a reasonable time. A condition requiring cure includes: (1) a condition that requires the Lessor to undertake repair/replacement and/or other maintenance of the premises; (2) a condition where Lessor has failed to maintain a required service or utility account in good standing; and (3) any other condition resulting in the Lessor's failure to carry out any obligation under the Lease.

If the Lessor does not cure the breach within a reasonable time, the Lessee may cure all or part of the default after providing notice to the Lessor of its intent to perform such cure, and may deduct any costs incurred from rent owed to Lessor. Lessee's costs incurred to cure include, but are not limited to, all reasonable out-of-pocket expenses, payment of unpaid utility or services charges for which Lessor is responsible, and all administrative costs the Lessee reasonably incurs and documents in performing or arranging for performance of the cure.

The term "reasonable time", as used in this Paragraph, shall mean as soon as reasonably possible but no longer than thirty (30) days, unless: (1) an emergency condition exists requiring an immediate cure to promptly begin without delay and to be complete within 24 hours to the extent reasonable possibly; or (2) a non-emergency condition exists that is not reasonably possible to cure within 30 days with due diligence and the Lessor provides the level of cure that is reasonably possible to do with due diligence within 30 days. An emergency condition exists if a condition requiring a cure (1) prevents or substantially disrupts the Lessee from using all or a substantial part of the premises; or (ii) causes or substantially threatens to cause injury to persons or damage to property or raises a substantial danger to the health or safety of any persons on or using the premises.

16. **BREACH AND CURE OF LESSEE.** If Lessee fails to pay rentals or otherwise fails to perform its obligations hereunder and this failure is not cured within thirty (30) days after written notice from Lessor to Lessee of such failure, then Lessee is in default and Lessor may terminate this Lease and may enter and take possession of the leased premises. No provision, covenant or agreement contained in this Lease shall be deemed a waiver of sovereign immunity of the AOC.

The AOC, as an agency of the Commonwealth of Kentucky, is vested with sovereign immunity and does not carry general liability insurance for itself, agents, or employees. Any claim brought against the AOC relating to personal injury or property damage must be filed and decided under the Kentucky Claims Commission Act, KRS Chapter 49.

17. **DESTRUCTION OF PREMISES.** If the premises are destroyed by fire or other casualty, this Lease shall immediately terminate. In case of partial destruction or damage so as to render the premises untenable, the Lessee may terminate this Lease by giving written notice to the Lessor within fifteen (15) days after such partial destruction or damage, and if so terminated, no rent shall accrue to the Lessor after the date of such partial destruction or damage.
18. **EXHIBITS.** The following documents are attached to and made part of the Lease, if assigned an Exhibit Number below. If an Addendum is required, this Lease is not effective until the Addendum has been executed.

Document Name	Number of Pages	Exhibit Number
Floor Plan(s)	1	A
Parking Plan(s)		
Addendum	42	B
Other		

19. **SEVERABILITY.** It is agreed by the parties hereto that if any one of the provisions of this lease shall contravene or be invalid under the laws of the Commonwealth of Kentucky, such contravention or invalidity shall not invalidate the whole lease but it shall be construed as if not containing that particular provision or provisions and the rights and obligations of the parties shall be construed accordingly.
20. **APPROPRIATIONS.** The Lessor understands that funds of the AOC cannot be committed beyond its current fiscal year and its applicable appropriation and the related allotment from which the rental payments will be made.
21. **COMPLIANCE.** The Lessor shall ensure the Leased Premises are complaint with all standards set by the State Fire Marshal, the Americans with Disabilities Act of 1990 ("ADA"), and the Occupational Safety and Health Administration ("OSHA"). If a determination of non-compliance is made by any federal or state agency, including the AOC ADA/OSHA Compliance Officer, the Lessor is responsible for correcting the non-compliant area at the Lessor's cost.
22. **ENTIRE AGREEMENT.** This document, including attachments, constitutes the entire agreement between the Parties regarding the subject matter described herein, and other promises, representations, understandings, arrangements, and prior agreements are superseded by this Lease. The Parties may make such amendments to this Lease as may be necessary. In order to become part of this Lease, amendments must be agreed to in writing and be signed by authorized representatives of both the Lessor and the Lessee.
23. **CHOICE OF LAW.** All questions as to the execution, validity, interpretation, construction and performance of this Agreement shall be governed by the laws of the Commonwealth of Kentucky. Furthermore, the Parties hereto agree that any legal action brought on the basis of this Agreement shall be filed in Franklin Circuit Court in the Commonwealth of Kentucky.

LESSOR:

R-79
LESSOR'S SIGNATURE

MADISON COUNTY FISCAL COURT
LOCAL GOVERNMENT

MAY 24, 2022
DATE

(859) 624-4700
LESSOR'S TELEPHONE NUMBER

LESSOR'S ADDRESS:

135 W. IRVINE ST., STE. 300
RICHMOND, KY 40475

LESSEE:

Laurie K. Givens
DIRECTOR, AOC

June 3rd, 2022
DATE

REVIEWED BY:

Ryan W. Becker
LEGAL COUNSEL, AOC

RECOMMENDED BY:

Christie Collier
DEPARTMENT OF COURT FACILITIES, AOC

Approved by:

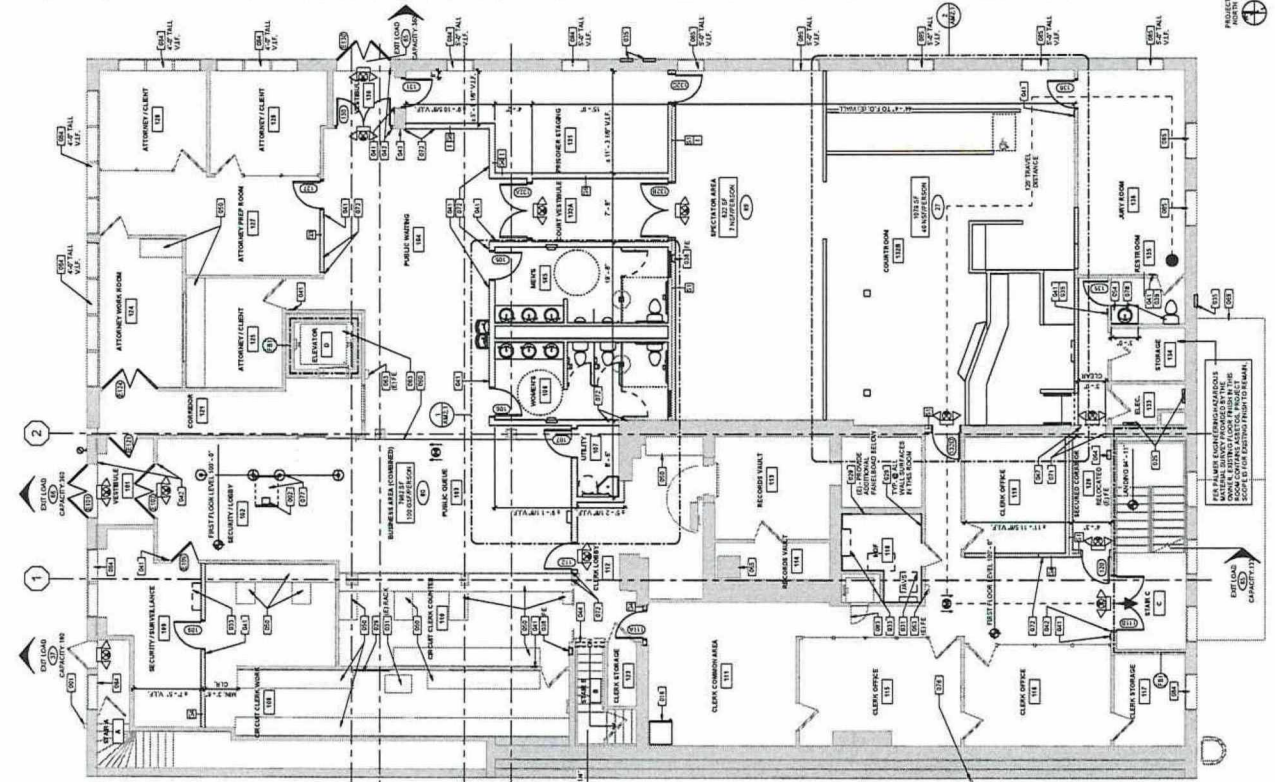
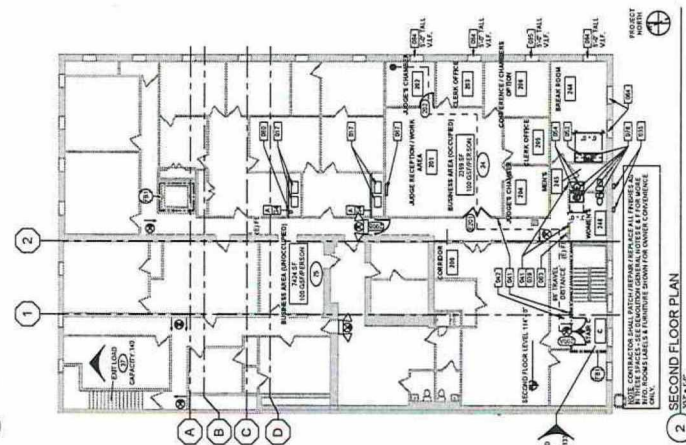
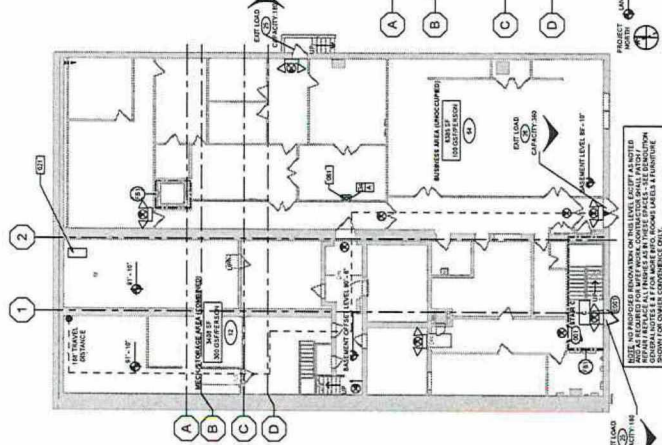
Jenny DePorto
Director of Finance and Administration, AOC

INSTRUCTIONS: ALL NOTICES, CORRESPONDENCE, AND INQUIRIES CONCERNING THIS LEASE SHOULD BE DIRECTED TO THE ADDRESS BELOW:

GOVERNMENT LEASES

ATTN: DEPARTMENT OF COURT FACILITIES
ADMINISTRATIVE OFFICE OF THE COURTS
1001 VANDALAY DRIVE
FRANKFORT, KY 40601

Exhibit A



FLOOR PLAN GENERAL NOTES

- SEE PROJECT GENERAL NOTES ON SHEET 100 FOR MORE INFORMATION.
- FLOOR PLAN SHALL BE CONSIDERED AS A PRELIMINARY DESIGN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
- ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- ALL WALLS ARE 12" THICK CONCRETE UNLESS OTHERWISE NOTED.
- ALL FLOORS ARE 4" THICK CONCRETE UNLESS OTHERWISE NOTED.
- ALL CEILING ARE 8' HIGH UNLESS OTHERWISE NOTED.
- ALL ROOF ARE 12" THICK CONCRETE UNLESS OTHERWISE NOTED.
- ALL FOUNDATION ARE 18" THICK CONCRETE UNLESS OTHERWISE NOTED.
- ALL STRUCTURAL STEEL ARE A36 UNLESS OTHERWISE NOTED.
- ALL MECHANICAL EQUIPMENT ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- ALL ELECTRICAL EQUIPMENT ARE TO BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).
- ALL PLUMBING EQUIPMENT ARE TO BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL PLUMBING CODE (IPC).
- ALL FIRE PROTECTION EQUIPMENT ARE TO BE INSTALLED IN ACCORDANCE WITH THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) STANDARDS.
- ALL SAFETY EQUIPMENT ARE TO BE INSTALLED IN ACCORDANCE WITH THE OSHA REGULATIONS.
- ALL ACCESSIBILITY REQUIREMENTS ARE TO BE MET IN ACCORDANCE WITH THE AMERICAN WITH DISABILITIES ACT (ADA).
- ALL ENVIRONMENTAL REQUIREMENTS ARE TO BE MET IN ACCORDANCE WITH THE ASHRAE STANDARDS.
- ALL ENERGY EFFICIENCY REQUIREMENTS ARE TO BE MET IN ACCORDANCE WITH THE ENERGY STAR PROGRAM.
- ALL SUSTAINABILITY REQUIREMENTS ARE TO BE MET IN ACCORDANCE WITH THE LEED CERTIFICATION PROGRAM.

CODE COMPLIANCE DATA

ALL CODES AND STANDARDS ARE TO BE MET IN ACCORDANCE WITH THE FOLLOWING:

- INTERNATIONAL BUILDING CODE (IBC) 2018 EDITION
- INTERNATIONAL PLUMBING CODE (IPC) 2018 EDITION
- INTERNATIONAL FIRE PROTECTION ASSOCIATION (NFPA) STANDARDS
- OSHA REGULATIONS
- ADA STANDARDS
- ASHRAE STANDARDS
- ENERGY STAR PROGRAM
- LEED CERTIFICATION PROGRAM

GENERAL SYMBOLS

ALL SYMBOLS ARE TO BE USED IN ACCORDANCE WITH THE FOLLOWING:

- WALL TYPE: SEE AM-1
- FLOOR TYPE: SEE AM-1
- CEILING TYPE: SEE AM-1
- ROOF TYPE: SEE AM-1
- FOUNDATION TYPE: SEE AM-1
- STRUCTURAL STEEL: SEE AM-1
- MECHANICAL EQUIPMENT: SEE AM-1
- ELECTRICAL EQUIPMENT: SEE AM-1
- PLUMBING EQUIPMENT: SEE AM-1
- FIRE PROTECTION EQUIPMENT: SEE AM-1
- SAFETY EQUIPMENT: SEE AM-1
- ACCESSIBILITY REQUIREMENTS: SEE AM-1
- ENVIRONMENTAL REQUIREMENTS: SEE AM-1
- ENERGY EFFICIENCY REQUIREMENTS: SEE AM-1
- SUSTAINABILITY REQUIREMENTS: SEE AM-1

PROJECT NAME
 COURTS TEMP. FACILITIES

PROJECT NUMBER
 100

PROJECT LOCATION
 100 W. MAIN ST. BIRMINGHAM, AL 35202

PROJECT DATE
 10/1/2022

PROJECT ARCHITECT
 AM-1

PROJECT ENGINEER
 AM-1



LEASE ADDENDUM

INTERNAL USE ONLY

PR#: 8482 Exhibit: B
COUNTY: Madison
Net Increase :\$517,801.20
Annual Increase:\$776,701.80

PROPERTY ADDRESS: 116 WEST MAIN STREET, RICHMOND, KY

LESSOR'S NAME: MADISON COUNTY FISCAL COURT

LESSOR'S PHONE: 859-624-4700

THIS LEASE ADDENDUM (hereinafter the "Addendum"), is entered into on the 1st day of May, 2022, by and between Madison County Fiscal Court (hereinafter the "Lessor") and the Kentucky Administrative Office of the Courts (hereinafter "AOC" or the "Lessee"), referred to collectively as the "Parties."

This ADDENDUM modifies the Lease Agreement dated May 1st, 2022 between the Parties, (hereinafter referred to as "Lease Agreement").

The Parties agree as follows:

1. The Lessor must build out the Leased Premises per the final plans and specifications attached hereto and incorporated herein as Attachments A and B.
2. During construction, Lessor must correct all ADA or OSHA conditions reported as non-compliant on the ADA/OSHA Lease Compliance Inspection Report.
3. The AOC understands and agrees that modifications to the Floor Plan may be made during construction due to existing conditions. Lessor understands and agrees that any modifications affecting final design must be approved by the AOC in writing. Upon completion of the build-out, Lessor shall provide the AOC Facilities Coordinator back-up documentation demonstrating actual costs of the build-out up to the maximum amount established by this Addendum or modification thereto. Back-up documentation includes invoices and cancelled checks.
4. The AOC will reimburse the Lessor for the actual costs of the build-out of the Leased Premises as described in Paragraph 1, above, not to exceed \$1,294,503.
 - a. Once documented, the cost shall be amortized over the remaining life of the Lease in which payments are to be made, currently estimated to be 20 months; these amortized payments shall be in addition to the Rent established in Paragraph 4 of the Lease; and may be made by separate check.
 - b. The AOC will not reimburse the Lessor for financing costs.
5. The AOC's obligation to pay rent to the Lessor will commence upon the first day of the month following completion of the build-out described herein. The Parties currently anticipate that completion of the build-out will occur prior to November 1, 2022. "Completion" means:
 - a. The AOC Facilities Coordinator has verified that the Leased Premises have been built out in accordance with the Floor Plan and any AOC-approved modifications; and

LEASE ADDENDUM

PR 8441

Page 2 of 2

- b. The AOC ADA/OSHA compliance officer has verified that the Leased Premises is ADA compliant and meets OSHA standards.
- c. A Certificate of Occupancy has been issued.

All other terms and conditions of the Lease Agreement remain the same. In the event the terms and conditions of this Addendum conflict with the terms and conditions of the Lease, the terms and conditions of the Addendum shall control.

LESSOR:



LESSOR'S SIGNATURE

DATE:

5-24-2022

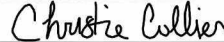
LESSEE:



DIRECTOR, AOC

DATE: June 3rd 2022

RECOMMENDED BY:



DEPARTMENT OF COURT FACILITIES, AOC

APPROVED BY:

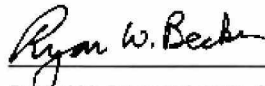


CAROLE, HENDERSON, BUDGET DIRECTOR, AOC



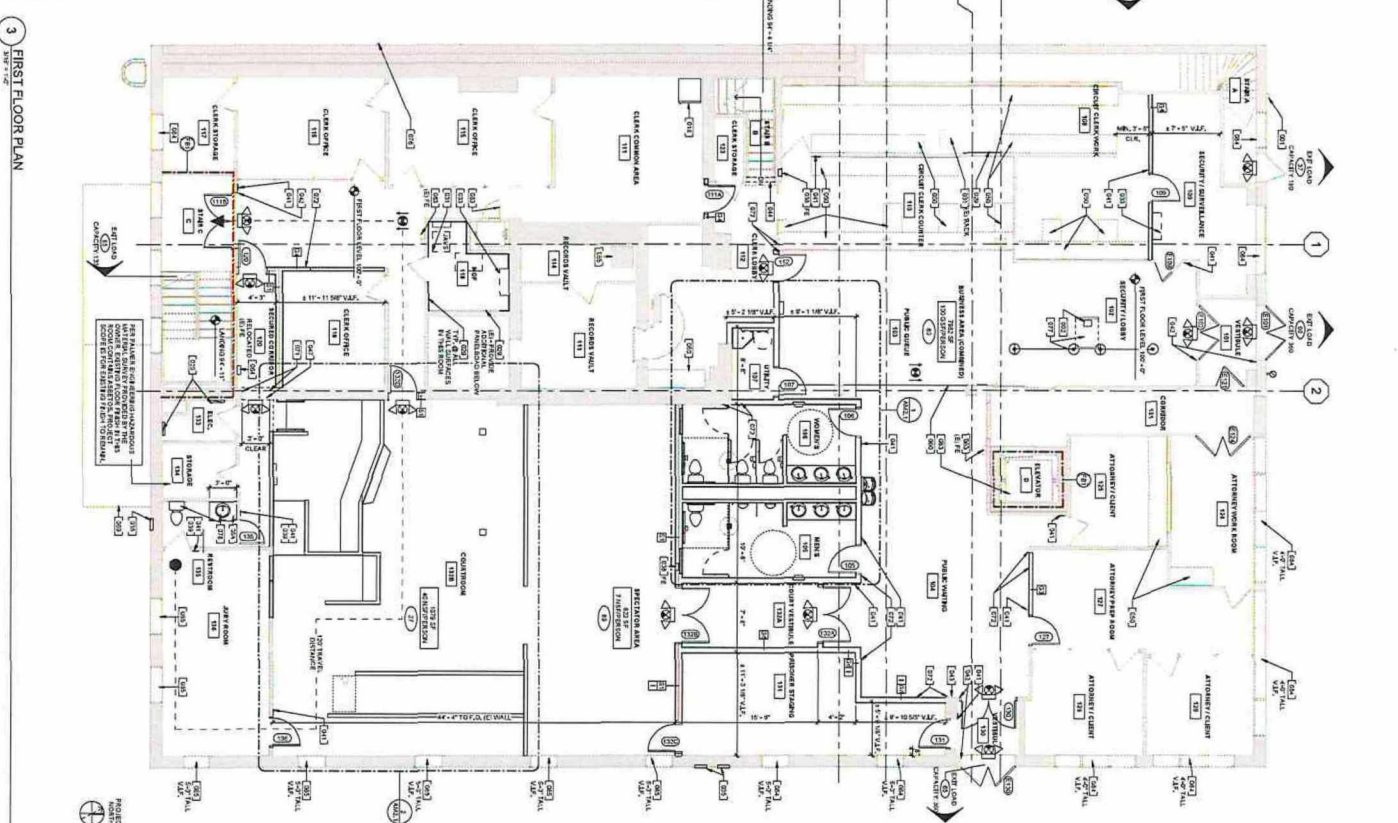
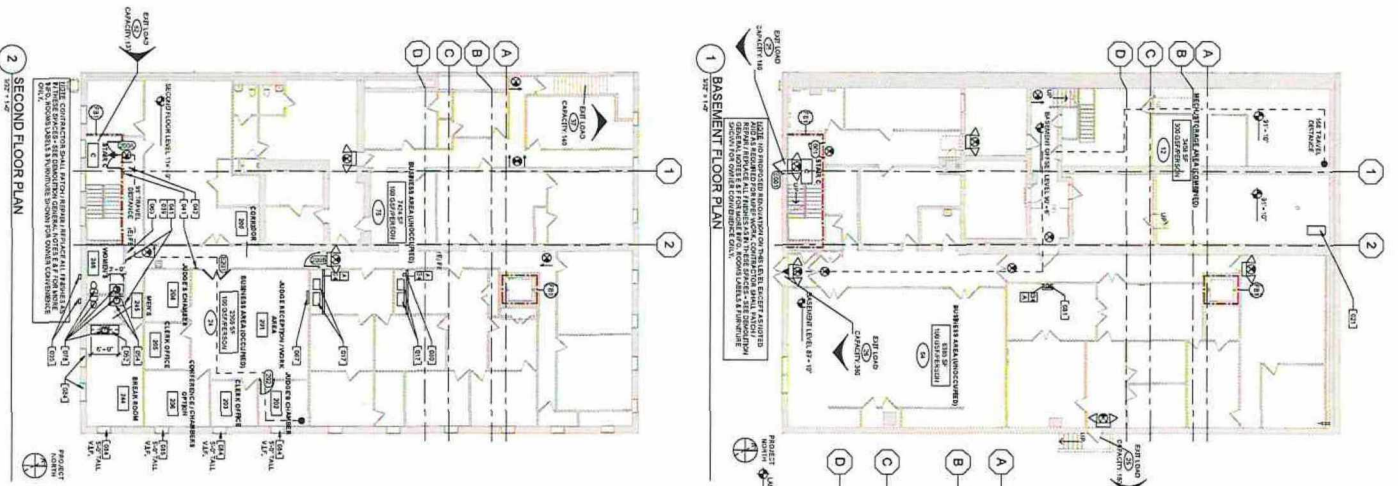
JENNY LAFFERTY, DIRECTOR OF FINANCE AND
ADMINISTRATION, AOC

REVIEWED BY:

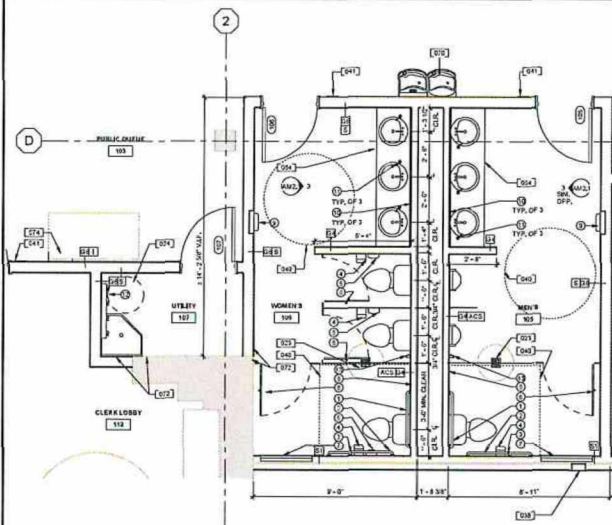


RYAN W. BECKER LEGAL COUNSEL, AOC

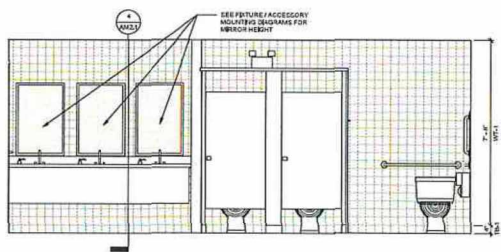
 		REGISTRY ARCHITECTURE 2nd Floor, 2nd Ave. Suite 120 Cambridge, MA 02142 Tel: 617-452-1234 Fax: 617-452-1235 Web: www.registry-architect.com © Copyright 2023
PROJECT NAME: MADISON CO. COURTESY TEMP. FACILITIES RENOVATION PROJECT ADDRESS: 1234 MAIN ST. BOSTON, MA 02108		
DEMOITION PLANS DRAWING NO.: 101 DATE: JAN 01, 2024 BY: J. Doe CHECKED: J. Doe		



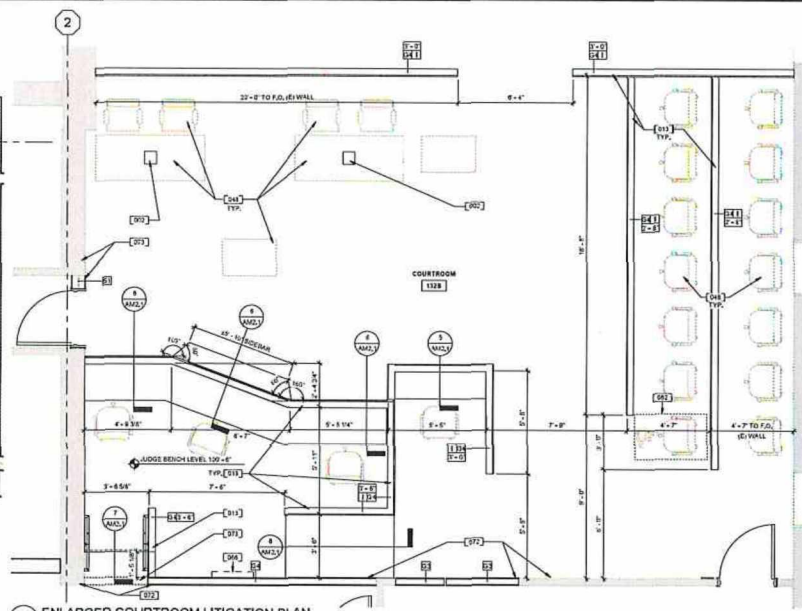
CODE COMPLIANCE DATA 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL FIRE CODE (IFC). 2. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE LOCAL BUILDING DEPARTMENT. 3. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC). 4. ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL PLUMBING CODE (IPC). 5. ALL MECHANICAL WORK SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL MECHANICAL CODE (IMC). 6. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.	FLOOR PLAN GENERAL NOTES 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL FIRE CODE (IFC). 2. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE LOCAL BUILDING DEPARTMENT. 3. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC). 4. ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL PLUMBING CODE (IPC). 5. ALL MECHANICAL WORK SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL MECHANICAL CODE (IMC). 6. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.	GENERAL SYMBOLS 1. WALL TYPE: SEE SCHEDULE 2. DOOR TYPE: SEE SCHEDULE 3. WINDOW TYPE: SEE SCHEDULE 4. ROOF TYPE: SEE SCHEDULE 5. FLOOR TYPE: SEE SCHEDULE 6. CEILING TYPE: SEE SCHEDULE 7. FINISH TYPE: SEE SCHEDULE 8. ELEVATION: SEE SCHEDULE	FIRE EXTINGUISHER CABINET 1. ALL FIRE EXTINGUISHERS SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FIRE CODE (IFC). 2. ALL FIRE EXTINGUISHERS SHALL BE APPROVED BY THE LOCAL BUILDING DEPARTMENT. 3. ALL FIRE EXTINGUISHERS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.	CODE COMPLIANCE SYMBOLS 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL FIRE CODE (IFC). 2. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE LOCAL BUILDING DEPARTMENT. 3. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC). 4. ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL PLUMBING CODE (IPC). 5. ALL MECHANICAL WORK SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL MECHANICAL CODE (IMC). 6. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.	FLOOR PLAN REMARKS 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL FIRE CODE (IFC). 2. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE LOCAL BUILDING DEPARTMENT. 3. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC). 4. ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL PLUMBING CODE (IPC). 5. ALL MECHANICAL WORK SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL MECHANICAL CODE (IMC). 6. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.	GENERAL SYMBOLS 1. WALL TYPE: SEE SCHEDULE 2. DOOR TYPE: SEE SCHEDULE 3. WINDOW TYPE: SEE SCHEDULE 4. ROOF TYPE: SEE SCHEDULE 5. FLOOR TYPE: SEE SCHEDULE 6. CEILING TYPE: SEE SCHEDULE 7. FINISH TYPE: SEE SCHEDULE 8. ELEVATION: SEE SCHEDULE	FIRE EXTINGUISHER CABINET 1. ALL FIRE EXTINGUISHERS SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FIRE CODE (IFC). 2. ALL FIRE EXTINGUISHERS SHALL BE APPROVED BY THE LOCAL BUILDING DEPARTMENT. 3. ALL FIRE EXTINGUISHERS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.	CODE COMPLIANCE SYMBOLS 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL FIRE CODE (IFC). 2. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE LOCAL BUILDING DEPARTMENT. 3. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC). 4. ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL PLUMBING CODE (IPC). 5. ALL MECHANICAL WORK SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL MECHANICAL CODE (IMC). 6. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
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1 ENLARGED RESTROOM PLANS
30' x 140'



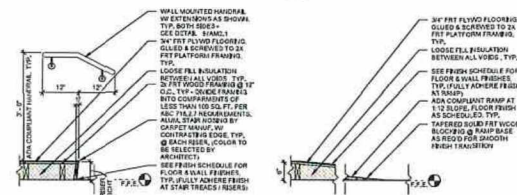
3 WOMEN'S 106 INT. ELEVATION (TYP. AT WET WALLS)
12' x 140'



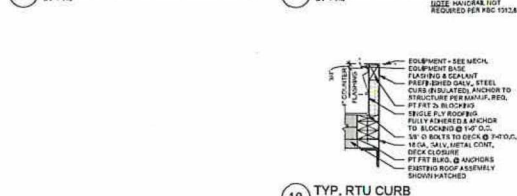
2 ENLARGED COURTROOM LITIGATION PLAN
30' x 140'



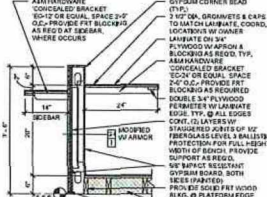
4 LAVATORY SECTION
30' x 140'



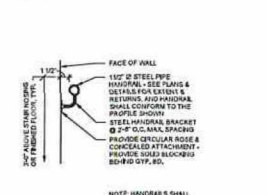
5 WITNESS STAND SECTION
30' x 140'



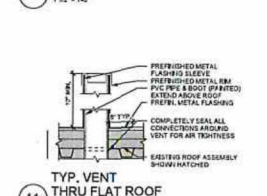
6 JUDGE BENCH SECTION
30' x 140'



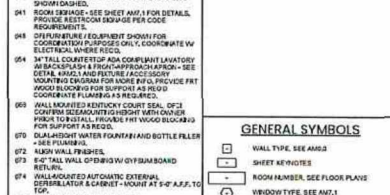
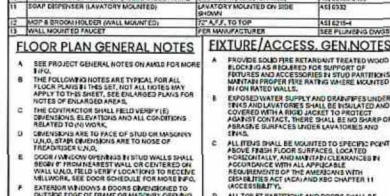
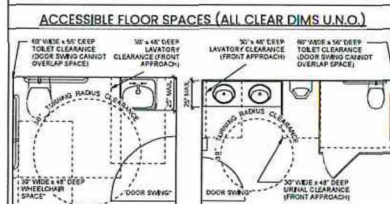
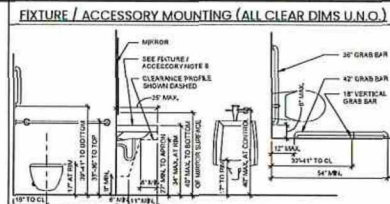
7 COURTROOM STAIR & PLATFORM SECTION
30' x 140'



8 COURTROOM RAMP SECTION
30' x 140'



9 TYP. HANDRAIL @ WALL
12' x 140'





Integrity Architecture
3414 Polaris Drive, Suite 105
Lebanon, TN 37359
(615) 308-8772
www.integrityarch.com
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RCP GENERAL NOTES

1. SEE FLOOR PLANS AND PARTITION TYPES FOR EXTENT OF GYPHUM BOARD ABOVE FINISHED CEILING.
2. FINISHED VERTICAL FACES OF SCOFFS AND BULKHEADS SHALL MATCH FINISHED VERTICAL FACES OF ADJACENT PARTITIONS WHERE APPLICABLE UNLESS NOTED.
3. CEILING GYPHUM OR PANELS ARE CENTERED ON THE PRIMARY SPACE ROOM OR CORRIDOR AS SHOWN, UNLESS OTHERWISE NOTED BY WALL OR SCOFF.
4. PROVIDE HOLD-DOWN CLIPS FOR CEILING PANELS VERTICALLY TO TOP OF EXTERIOR DOOR.
5. SEE WALL SECTIONS AND OTHER DETAILS FOR CEILING SCOFFS AND ADDITIONAL INFORMATION AT EXTERIOR WALLS OF BUILDING OR SCOFFS LOCATED NEAR EXTERIOR WALLS. REFERENCED TYPICAL DETAILS.
6. GYPHUM BOARD JOISTS SHALL BE PROVIDED AS PER DETAIL AND SPACED AT 40" MAX. INTERVALS AT EACH CHANGE OF DIRECTION AND AT OTHERWISE DICTATED BY SPECIFICATIONS OR INDUSTRY STANDARDS. COORDINATE LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
7. VERTICAL STUD SCOFF FRAMING SHALL EXTEND AND BE ANCHORED TO THE UNDERSIDE OF STRUCTURE OR FRAMING ATTACHED TO STRUCTURE. TYP. UNLESS NOTED.
8. SEE WEEP PLANS FOR DETAILS NOT SHOWN ON ARCHITECTURAL REFLECTED CEILING PLANS (E.G. SPEAKERS, EMERGENCY LIGHTS, ETC., LIGHTING, ETC.).
9. WHERE LIGHTING ELECTRICAL WIRING OR HVAC EQUIPMENT IS PRESENT IN AREAS OF ACCESS PANELS, COORDINATE WITH CONCRETE BACK-BY WIRING AND DUCT WORK.

RCP KEYNOTES

101. ALIGH SCOFF UP OR DOWN TO MATCH SPACE OPEN TO ABOVE.
102. PROVIDE SCOFF ATTACHMENT DETAILS ABOVE CEILING & CONCRETE DETAIL AT CEILING PERIMETER.
103. PROVIDE HOLD-DOWN CLIPS FOR ACT PANELS UPWARD TOP OF EXTERIOR DOOR.
104. FOR LIGHT LOCATIONS, SEE ELECTRICAL DRAWINGS FOR TYPE AND SPEC.
105. EMERGENCY LIGHT LOCATION, SEE ELECTRICAL DRAWINGS FOR TYPE AND SPEC.
106. BULKHEAD TYP. SEE DETAIL.

RCP SYMBOLS

SEE ELECTRICAL FOR LIGHT FIXTURES & EET SHOWN
SEE MECHANICAL FOR HVAC DETAILS
SEE FIRE PROTECTION FOR SMOKE RISERS
SEE TYPICAL SCHEDULE FOR CEILING TYPES

- ACQUISITION BOARD CEILING, SCOFF, OR BULKHEAD (PAINTED UNLESS OTHERWISE NOTED) CONCRETE
- 2'x2' LAY-IN LIGHT FEATURE
- 2'x4' LAY-IN LIGHT FEATURE
- RECESSED CAN LIGHT FEATURE
- SURFACE MOUNTED LIGHT FEATURE
- WALL-MOUNTED LIGHT FEATURE
- WALL-MOUNTED EMERGENCY LIGHT FEATURE
- WALL-OR CEILING-MOUNTED EXT. BOX - SEE CODE COMPLIANCE PLAN FOR MORE INFO.
- HVAC SUPPLY AIR GRILLE
- HVAC RETURN AIR GRILLE
- EXHAUST FAN W/ VENT TO EXTERIOR
- M SPRINKLER HEADS

GENERAL SYMBOLS

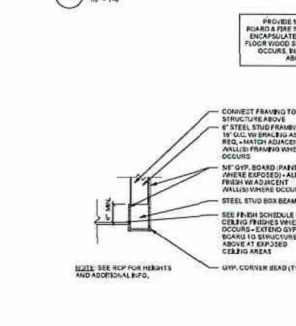
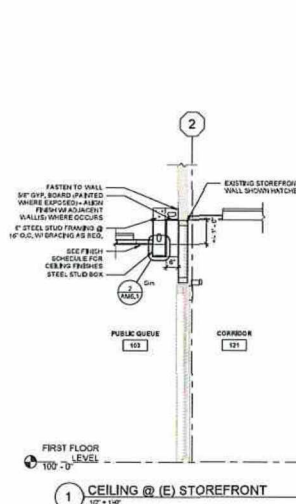
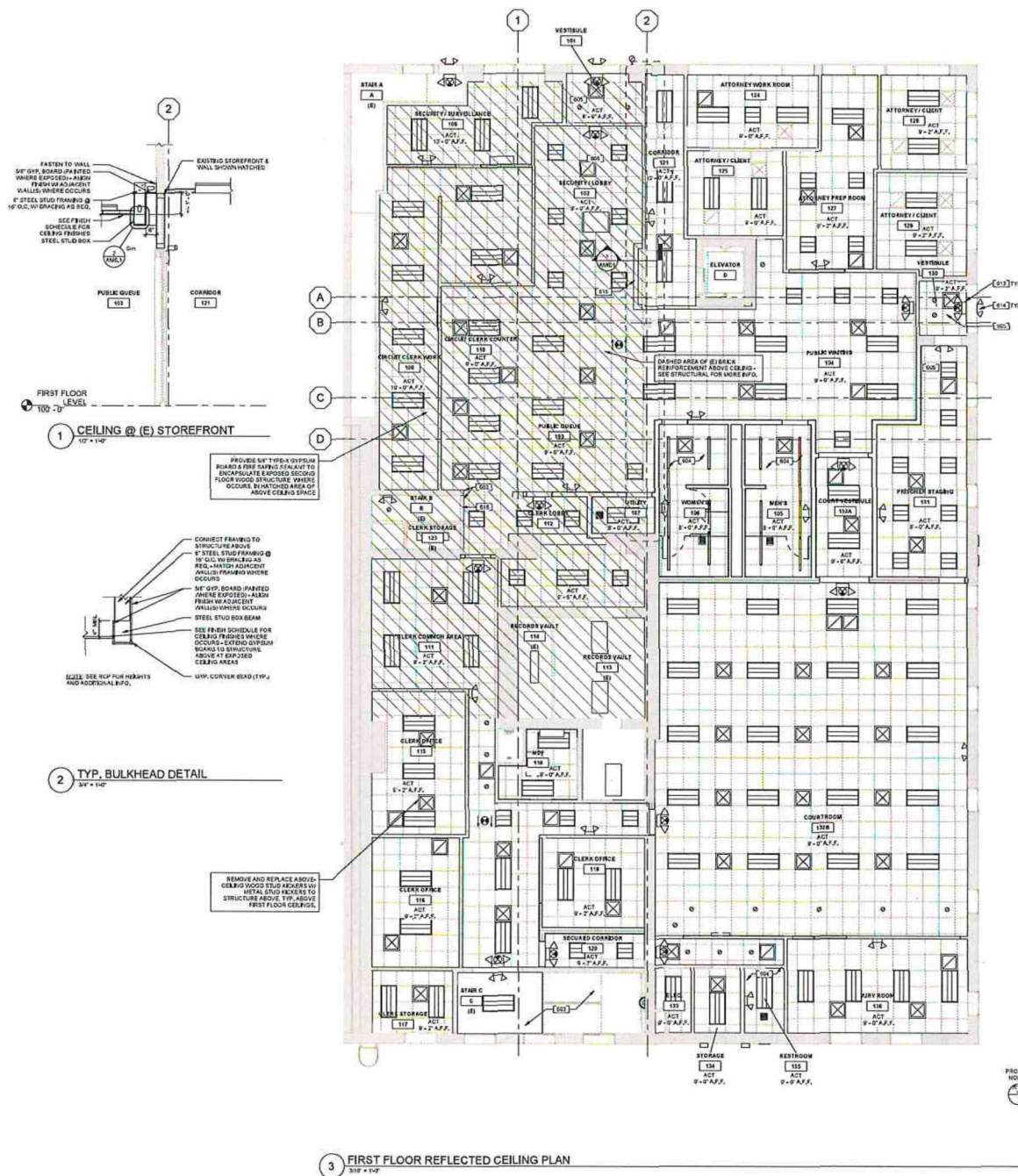
- WALL TYPE, SEE ANNOT.
- SCOFF VERTICAL
- ROOM NUMBER, SEE FLOOR PLANS
- WINDOW TYPE, SEE ANNOT.
- DOOR TYPE, SEE ANNOT.
- DETAIL, OR ENLARGED PLAN
- INTERIOR ELEVATION, SEE ANNOT.
- ELEVATION MARK
- SEE FIRE RATING DISTRIBUTION, SEE ANNOT. & SECTIONS FOR WATER CONTROL LOCATIONS & UL ASSEMBLIES
- SMOKE PARTITION
- 1 HOUR FIRE RATING (R) - 1 HOUR BARRIER

PROJECT NAME
MADISON CO. COURTS TEMP. FACILITIES RENOVATION
PROJECT ADDRESS
100 W. MAIN ST.
LEBANON, TN 37359

SHEET NAME
FIRST FLOOR REFLECTED CEILING PLAN & DETAILS

PROJECT NO.
10021
DATE
04/10/2022
NO. OF SHEETS
10

SHEET NUMBER
AM6.1
BID SET



3 FIRST FLOOR REFLECTED CEILING PLAN
3/10' x 14'

[illegible][illegible]

FIG. SCALE

LABATORY

NOTE:
FISTAL FLANGING GUARDS ON PIPING BELOW ACCESSIBLE LAV.

WATER CLOSET

NOTE:
WATER CLOSET STYLE MAY VARY

	LABORATORY				WATER CLOSET			
	A (INCHES)	B (INCHES)	C (INCHES)	D (INCHES)	E (INCHES)	F (INCHES)	G (INCHES)	H (INCHES)
AGE GROUP (YEARS OLD)	12-15	16-24	25-34	35-44	45-54	55-64	65-74	75-84
MIN. CLEARANCE	24	30	36	42	48	54	60	66

NOTE: INSTALL PLUMBING FIXTURES IN ACCORDANCE WITH ADOPTED EDITION OF ICC/ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES.

SYMBOL	DESCRIPTION
	SANITARY SEWER PIPING
	COLD WATER PIPING
	HOT WATER PIPING
	NATURAL GAS PIPING
	VENT PIPING
	BACKFLOW PREVENTER
	CLEANOUT
	COMBINATION TEST TEE / CLEANOUT
	OVERFLOW DRAIN
	FLOOR DRAIN
	PRESSURE PROOF ROOF HYDRANT
	HOSE BIBB
	BOX MANHOLE
	OPEN ACCESSIBLE
	TRAP PIPING
	VENT THROUGH ROOF
	WALL CLEANOUT
	AIR VENT HEADER
	YARD CLEANOUT
	POINT OF CONNECTION
	BALL VALVE
	GATE VALVE
	SOLENOID VALVE
	GAS VALVE
	UNION
	GAS PRESSURE REGULATOR
	DOUBLE CHECK VALVE BACKFLOW PREVENTER

[illegible]

SPEAKER WORK DESCRIPTION	
SPEAKER CLASSIFICATION OF OCCUPANCY	
	OCCUPIED SPACE SPEAKER
TAG	DESCRIPTION
A	NON-SPEAKERED PEDESTAL SPEAKERS REQUIRED
B	UPWARD SPEAKERS REQUIRED
C	SEMI-UPWARD SPEAKERS REQUIRED
LN	NON-PLACED OCCUPANCY
OH GR1	ORDINARY HAZARD GROUP 1 OCCUPANCY
OH GR2	ORDINARY HAZARD GROUP 2 OCCUPANCY

NOTES:

1. THE FIRE PROTECTION CONTRACTOR SHALL BE RESPONSIBLE FOR PURCHASING AND INSTALLING ALL NECESSARY ADDITIONAL FIRE PROTECTION SPEAKERS TO PROVIDE 70% COVERAGE.
2. CONTRACTOR SHALL NOTE THE COMPLEX CEILING TYPES AND SCOFFS, REFER TO ARCHITECTURAL CEILING PLANS, CONTRACTOR SHALL INSTALL ADDITIONAL SPEAKERS AS REQUIRED TO ACHIEVE 70% COVERAGE.

[illegible][illegible]

MARK	MFG.	MODEL	TYPE	DIMENSIONS		SERIES/LOCATION	TEMP. SETTING (DEG. F)	TEMP. RANGE (DEG. F)	REC-REF (SPH)	ION. STORAGE CAPACITY (uAL)	ELECTRICAL ELEMENTS			ELECTRICAL CHARACTERISTICS		REMARKS AND ACCESSORIES
				DIA. (IN)	HEIGHT (IN)						NO. OF ELEMENTS	WATT/ELEMENT	TOTAL W.	VOLTAGE/PHASE		
104-4	LOCKHEED	104-4	STORAGE TANK	18	24 1/2	USB/F 137	115	95	11	19	250/120	2,500	2,500	104-1	SEE BELOW	

REMARKS AND ACCESSORIES:

A. SEDIMENTALLY RESTRAIN WATER HEATER TO ACCEPTABLE SUBSTRATE.

B. MOUNTING MANUFACTURER'S UNIFORM CLEARANCES.

C. PESTHICIDE WATER HEATER ON FIBERGLASS TANK ONLY.

D. PROTECTS WITH NEW AT 104-4-1 THREE YEAR PARTS WARRANTY AND 104-4-2 YEAR LABOR WARRANTY.

E. A.D. 104-4, 104-4-1, 104-4-2, 104-4-3, 104-4-4, 104-4-5, 104-4-6, 104-4-7, 104-4-8, 104-4-9, 104-4-10, 104-4-11, 104-4-12, 104-4-13, 104-4-14, 104-4-15, 104-4-16, 104-4-17, 104-4-18, 104-4-19, 104-4-20, 104-4-21, 104-4-22, 104-4-23, 104-4-24, 104-4-25, 104-4-26, 104-4-27, 104-4-28, 104-4-29, 104-4-30, 104-4-31, 104-4-32, 104-4-33, 104-4-34, 104-4-35, 104-4-36, 104-4-37, 104-4-38, 104-4-39, 104-4-40, 104-4-41, 104-4-42, 104-4-43, 104-4-44, 104-4-45, 104-4-46, 104-4-47, 104-4-48, 104-4-49, 104-4-50, 104-4-51, 104-4-52, 104-4-53, 104-4-54, 104-4-55, 104-4-56, 104-4-57, 104-4-58, 104-4-59, 104-4-60, 104-4-61, 104-4-62, 104-4-63, 104-4-64, 104-4-65, 104-4-66, 104-4-67, 104-4-68, 104-4-69, 104-4-70, 104-4-71, 104-4-72, 104-4-73, 104-4-74, 104-4-75, 104-4-76, 104-4-77, 104-4-78, 104-4-79, 104-4-80, 104-4-81, 104-4-82, 104-4-83, 104-4-84, 104-4-85, 104-4-86, 104-4-87, 104-4-88, 104-4-89, 104-4-90, 104-4-91, 104-4-92, 104-4-93, 104-4-94, 104-4-95, 104-4-96, 104-4-97, 104-4-98, 104-4-99, 104-4-100, 104-4-101, 104-4-102, 104-4-103, 104-4-104, 104-4-105, 104-4-106, 104-4-107, 104-4-108, 104-4-109, 104-4-110, 104-4-111, 104-4-112, 104-4-113, 104-4-114, 104-4-115, 104-4-116, 104-4-117, 104-4-118, 104-4-119, 104-4-120, 104-4-121, 104-4-122, 104-4-123, 104-4-124, 104-4-125, 104-4-126, 104-4-127, 104-4-128, 104-4-129, 104-4-130, 104-4-131, 104-4-132, 104-4-133, 104-4-134, 104-4-135, 104-4-136, 104-4-137, 104-4-138, 104-4-139, 104-4-140, 104-4-141, 104-4-142, 104-4-143, 104-4-144, 104-4-145, 104-4-146, 104-4-147, 104-4-148, 104-4-149, 104-4-150, 104-4-151, 104-4-152, 104-4-153, 104-4-154, 104-4-155, 104-4-156, 104-4-157, 104-4-158, 104-4-159, 104-4-160, 104-4-161, 104-4-162, 104-4-163, 104-4-164, 104-4-165, 104-4-166, 104-4-167, 104-4-168, 104-4-169, 104-4-170, 104-4-171, 104-4-172, 104-4-173, 104-4-174, 104-4-175, 104-4-176, 104-4-177, 104-4-178, 104-4-179, 104-4-180, 104-4-181, 104-4-182, 104-4-183, 104-4-184, 104-4-185, 104-4-186, 104-4-187, 104-4-188, 104-4-189, 104-4-190, 104-4-191, 104-4-192, 104-4-193, 104-4-194, 104-4-195, 104-4-196, 104-4-197, 104-4-198, 104-4-199, 104-4-200, 104-4-201, 104-4-202, 104-4-203, 104-4-204, 104-4-205, 104-4-206, 104-4-207, 104-4-208, 104-4-209, 104-4-210, 104-4-211, 104-4-212, 104-4-213, 104-4-214, 104-4-215, 104-4-216, 104-4-217, 104-4-218, 104-4-219, 104-4-220, 104-4-221, 104-4-222, 104-4-223, 104-4-224, 104-4-225, 104-4-226, 104-4-227, 104-4-228, 104-4-229, 104-4-230, 104-4-231, 104-4-232, 104-4-233, 104-4-234, 104-4-235, 104-4-236, 104-4-237, 104-4-238, 104-4-239, 104-4-240, 104-4-241, 104-4-242, 104-4-243, 104-4-244, 104-4-245, 104-4-246, 104-4-247, 104-4-248, 104-4-249, 104-4-250, 104-4-251, 104-4-252, 104-4-253, 104-4-254, 104-4-255, 104-4-256, 104-4-257, 104-4-258, 104-4-259, 104-4-260, 104-4-261, 104-4-262, 104-4-263, 104-4-264, 104-4-265, 104-4-266, 104-4-267, 104-4-268, 104-4-269, 104-4-270, 104-4-271, 104-4-272, 104-4-273, 104-4-274, 104-4-275, 104-4-276, 104-4-277, 104-4-278, 104-4-279, 104-4-280, 104-4-281, 104-4-282, 104-4-283, 104-4-284, 104-4-285, 104-4-286, 104-4-287, 104-4-288, 104-4-289, 104-4-290, 104-4-291, 104-4-292, 104-4-293, 104-4-294, 104-4-295, 104-4-296, 104-4-297, 104-4-298, 104-4-299, 104-4-300, 104-4-301, 104-4-302, 104-4-303, 104-4-304, 104-4-305, 104-4-306, 104-4-307, 104-4-308, 104-4-309, 104-4-310, 104-4-311, 104-4-312, 104-4-313, 104-4-314, 104-4-315, 104-4-316, 104-4-317, 104-4-318, 104-4-319, 104-4-320, 104-4-321, 104-4-322, 104-4-323, 104-4-324, 104-4-325, 104-4-326, 104-4-327, 104-4-328, 104-4-329, 104-4-3

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03/07/2022



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ECT NAME
DISON CO.

URTS TEMP.
 ILITIES
 OVATION
 CT ADDRESS

Begin SL
mond. KY 40475

NAME _____
MECHANICAL LEAD _____
ET _____

DESCRIPTION	DATE
-------------	------

T NUMBER

IMO.1

(APPLIES TO THIS DRAWING ONLY)	
1	REMOVE PLUMBING FIXTURES, EXISTING ROUGH-IN SHALL REMAIN, REPLACE FIXTURE STOP VALVES AND MODIFY ROUGH-IN FOR NEW FIXTURE, SEE MECHANICAL FLOOR PLANS.



CLASSIFIED ASSEMBLY LEGEND		
SYMBOL	DESCRIPTION	REQUIRED WORK
	1/4" R, 1/4" R ASSEMBLY	FR ALL PENETRATIONS. INSTALL AFWD OUTSIDE/SEAL & INITIAL MINIMUM PENETRATIONS (RECEIVED TEMP PER SECTION 712)
AFWD = AUTOMATIC FIRE DAMPER FR-R = FIRE-RESISTANT-RATED FR-1 = 1 HOUR RATED WALL FR-2 = 2 HOUR		



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03 07 202



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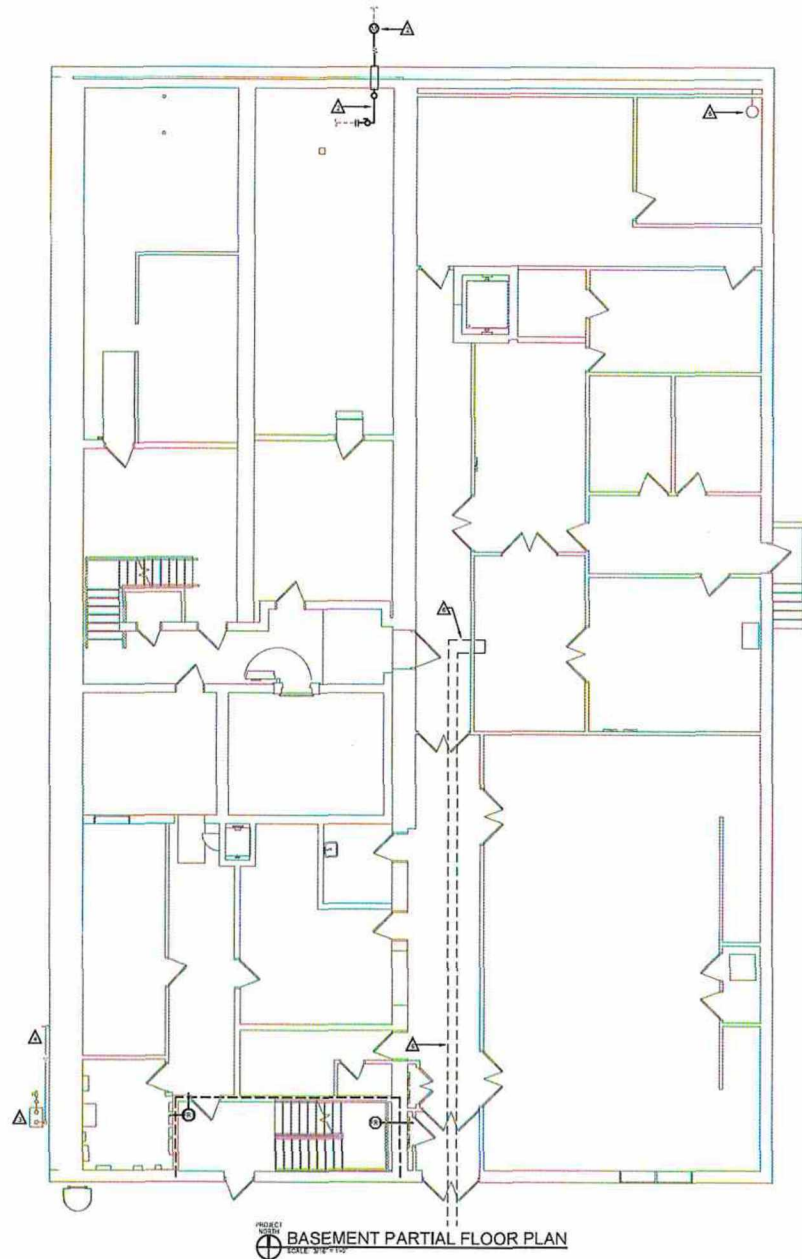
PROJECT NAME
MADISON CO.
COURTS TEMP.
FACILITIES
RENOVATION
PROJECT ADDRESS
108 W. MAIN ST.
RICHMOND KY 40475

**DEMOLITION
MECHANICAL FIRST
FLOOR PLAN**

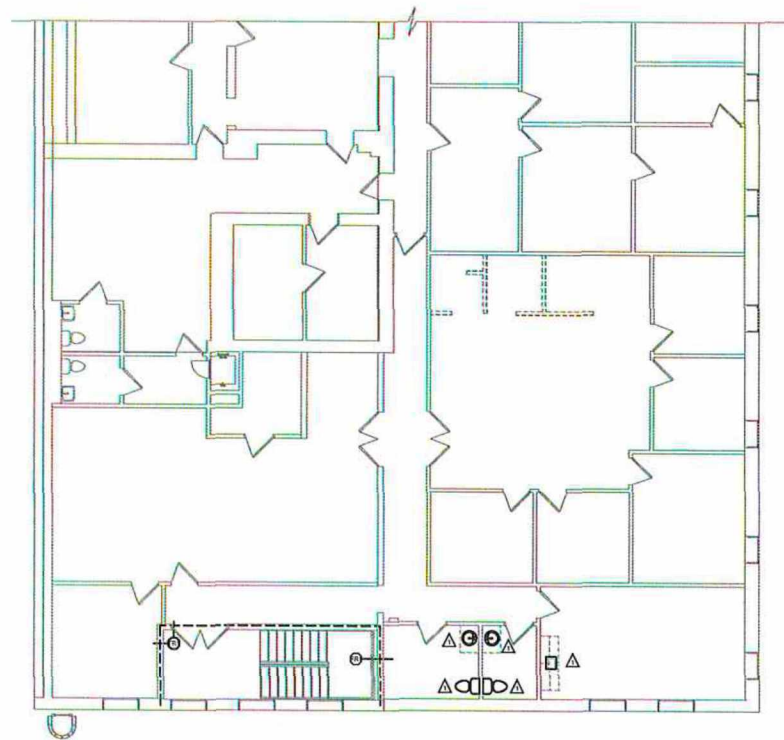
PROJECT NO.	20556/1923
DATE	MAR 07, 202
REVISIONS	

NO	DESCRIPTION	DATE
----	-------------	------

SHEET NUMBER
DMM1.1
BID SET



PROJECT NORTH
BASEMENT PARTIAL FLOOR PLAN
SCALE: 3/8" = 1'-0"



PROJECT NORTH
SECOND FLOOR PARTIAL FLOOR PLAN
SCALE: 3/8" = 1'-0"

MECHANICAL DEMOLITION TAG NOTES

(APPLIES TO THIS DRAWING ONLY)

1. REMOVE PLUMBING FIXTURES, EXISTING ROUGH-IN SHALL REMAIN, REPLACE FUTURE STOP VALVES AND MOUNTY ROUGH-IN FOR NEW FIXTURES, SEE MECHANICAL FLOOR PLANS.
2. REMOVE WATER HEATED AND WATER PIPING EXISTING BUILDING, SEE MECHANICAL FLOOR PLANS.
3. GAS METER AND REGULATOR SHALL REMAIN.
4. GAS PIPING TO MECHANICAL ROOM SHALL REMAIN.
5. FIRE PROTECTION RISER SHALL REMAIN.
6. BRACUT FLOOR FOR INSTALLATION OF NEW SANITARY WASTE PIPING, SEE MECHANICAL FLOOR PLANS.



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PROJECT NAME
**MADISON CO.
COURTS TEMP.
FACILITIES
RENOVATION**
PROJECT ADDRESS
110 W. 40th St.
Baltimore, MD 21202

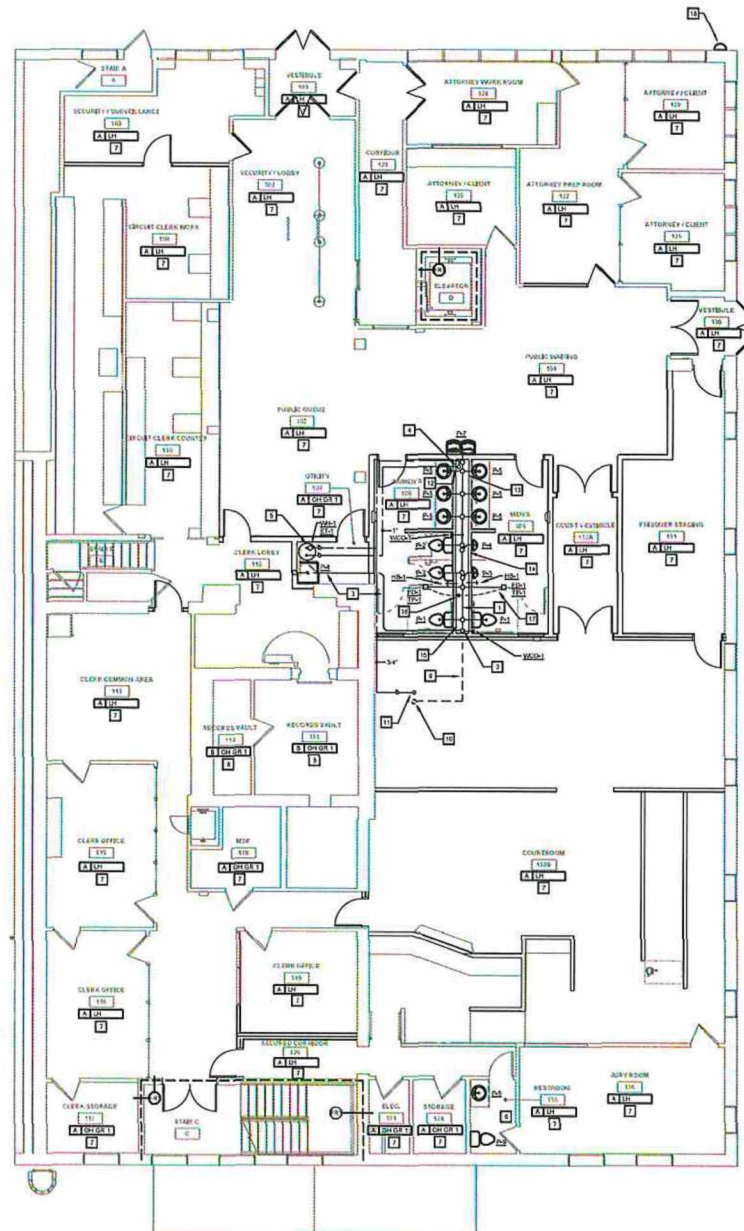
SHEET NAME
**DEMOLITION
MECHANICAL
BASEMENT AND
SECOND FLOOR
PLAN**

PROJECT NO. 20516/0031
DATE: March 07, 2022
REVISIONS
NO. DESCRIPTION DATE

SHEET NUMBER
DMM1.2
BID SET

CLASSIFIED ASSEMBLY LEGEND

SYMBOL	DESCRIPTION	REQUIRED WORK
	1/2" R, R-2 ASSEMBLY	FRAM PENETRATIONS, INSTALL AT 20 IN OUTSPOURINGS & INSTAL REINFORCE PENETRATIONS (PROCESSED ITEM) PER ABC SECTION 712
	AFD - AUTOMATIC FIRE DAMPER	
	PAFR - FIRE RESISTANT ASSEMBLY	
	F-W-V - FIRE STOP WALL	
	FZ - FIRE STOP	



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

CLASSIFIED ASSEMBLY LEGEND		
SYMBOL	DESCRIPTION	REQUIRED WORK
	1/2" R-A-A ASSEMBLY	1. ALL PENETRATIONS, INSTALL APPROXIMATELY 1/2" R-A-A ASSEMBLY. 2. INSTALL MEMBRANE PENETRATIONS (RECESS PER SEC. 712)
RFD = AUTOMATIC FIRE DAMPER PAB = PENETRATING AIR-BLOCK PAB-V = PENETRATING AIR-BLOCK PAB-V = PENETRATING AIR-BLOCK PAB-V = PENETRATING AIR-BLOCK		

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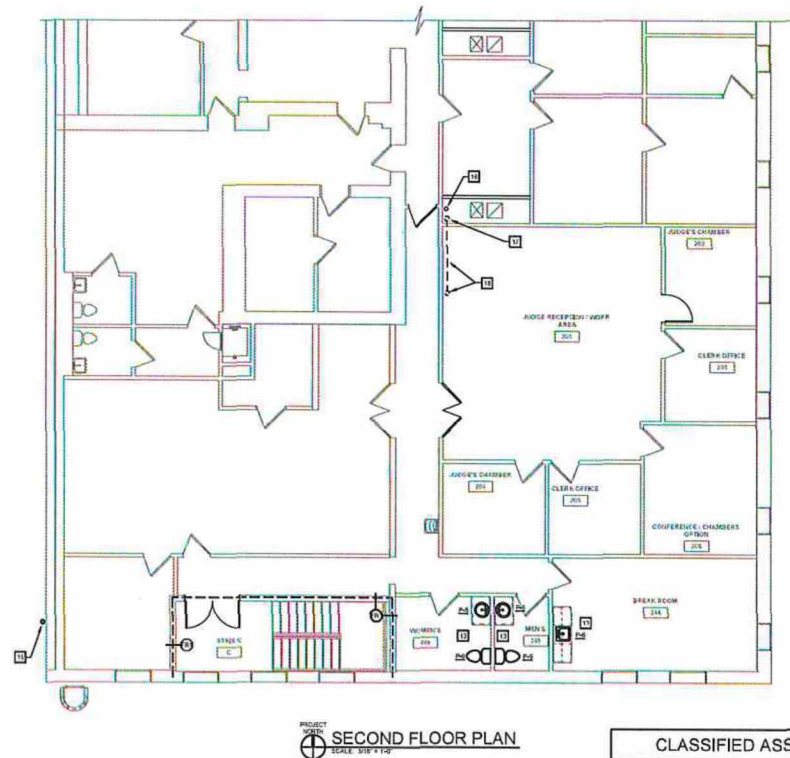
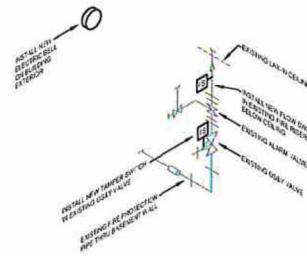
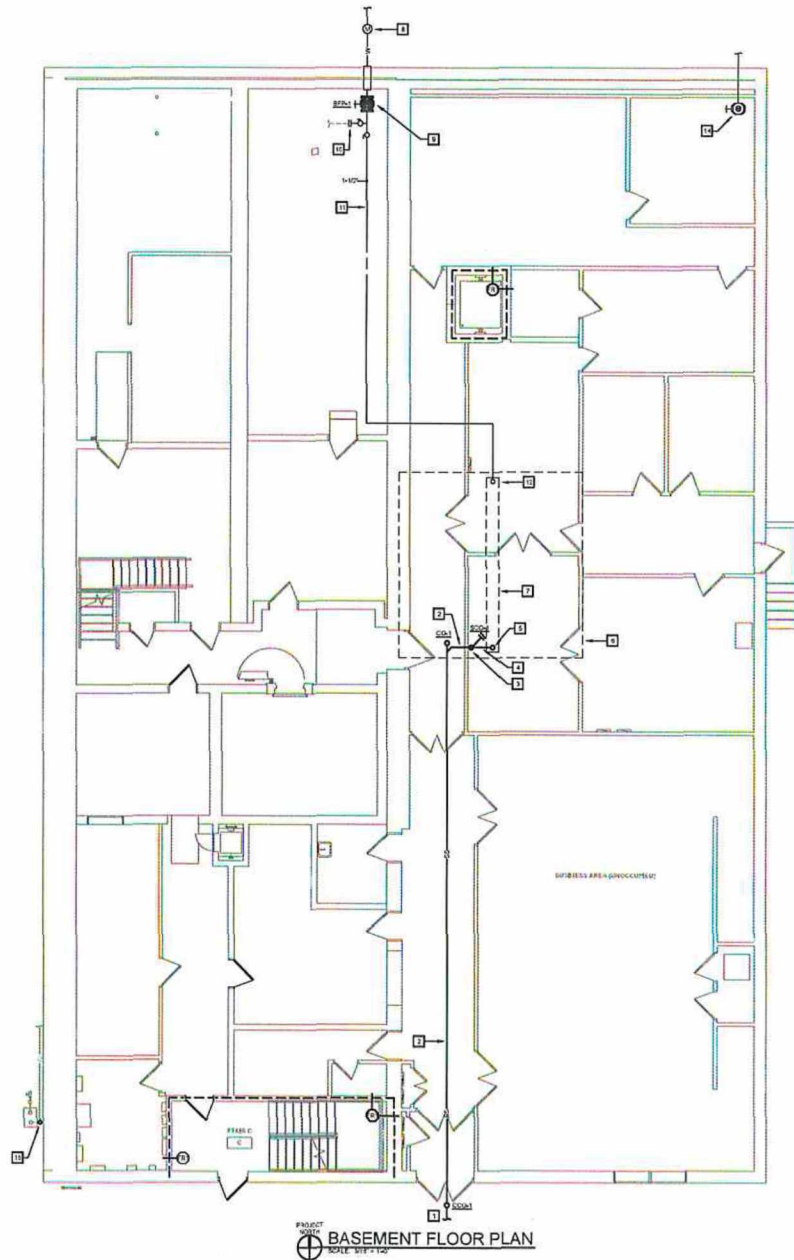
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PROJECT NAME
MADISON CO. COURTS TEMP. FACILITIES RENOVATION
PROJECT ADDRESS
100 N. MAIN ST.
BETHLEHEM, PA 18010

SHEET NAME
MECHANICAL FIRST FLOOR PLAN

PROJECT NO. 2022-001
DATE MAY 01, 2022
REVISIONS

SHEET NUMBER
MM1.1
BID SET



MECHANICAL CONSTRUCTION TAG NOTES (APPLIES TO THIS DRAWING ONLY)		
1	CONNECT NEW 4" SANITARY WASTE PIPING TO EXISTING COORDINATE WITH LOCAL LIBRARY COMPANY.	
2	INSTALL NEW 4" SANITARY WASTE PIPING, PATCH FLOOR TO MATCH BUILDING FINISH.	
3	DROP 4" SANITARY WASTE PIPE IN NEW CHASE, SEE ARCHITECTURAL DRAWING.	
4	ROUTE NEW 4" SANITARY WASTE PIPE AS HIGH AS POSSIBLE BELOW FIRST FLOOR, COORDINATE WITH EXISTING BUILDING STRUCTURE.	
5	DROP NEW 4" SANITARY WASTE PIPE FROM CHASE ABOVE.	
6	OUTLINE OF NEW RESTROOMS ABOVE.	
7	OUTLINE OF NEW PLUMBING CHASE ABOVE.	
8	REPLACE EXISTING WATER METER WITH A NEW 5/8" METER AND ROUTE NEW 1/2" DOMESTIC WATER PIPE INTO BUILDING.	
9	INSTALL NEW VERTICAL 1/2" BACKFLOW PREVENTER.	
10	RE-CONNECT EXISTING WATER PIPING TO EXISTING WATER PIPING SERVING BUILDING.	
11	ROUTE NEW 1/2" WATER PIPING ABOVE EXISTING CEILING TO NEW RESTROOM.	
12	SEE 1/2" WATER PIPING TO NEW PLUMBING CHASE.	
13	INSTALL NEW PLUMBING FITTINGS IN EXISTING LOCATIONS, PROVIDE NEW WATER SUPPLY VALVES AND CONNECTIONS FROM EXISTING TO NEW.	
14	EXISTING FIRE PROTECT IRON RISER, CONTRACTOR SHALL INSTALL A NEW TAMPER SWITCH ON THE EXISTING VALVE AND A NEW FLOW SWITCH IN THE EXISTING SUPPLY RISER, COORDINATE WITH ELECTRICAL CONTRACTOR.	
15	EXTEND NEW GAS PIPING EXPOSED ON EXTENSION OF BUILDING TO ROOF, SEE GAS PIPING DIAGRAM.	
16	EXTEND NEW 3/4" COLD WATER PIPING IN NEW CHASE TO FREEZEPROOF ROOF - HYDRANT.	
17	NEW 4" PLUMBING VENT STACK FROM BELOW, SEE IN NEW CHASE TO SECOND FLOOR CEILING.	
18	ROUTE NEW 4" PLUMBING VENT PIPING ABOVE SECOND FLOOR LAY-IN CEILING AND SEE THIS ROOF TO ALSO NEW FROST-PROOF EQUIPMENT.	

CLASSIFIED ASSEMBLY LEGEND		
SYMBOL	DESCRIPTION	REQUIRED WORK
	1/4" R-A-B ASSEMBLY	TRAIL FIBERGLASS, INSTALL AFFIXED OUTCLOSING & BUSTAL MEMORABLE REMEDIATION (NECESSARY) PER IBC SECTION 712
	AFD - AUTOMATIC FIRE DAMPER	
	PAFR - FIRE RESISTANT RATED	
	FFR - FIRE RESISTANT WALL	
	FZ - FIRE STOP	

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PROJECT NAME
MADISON CO. COURTS TEMP. FACILITIES RENOVATION

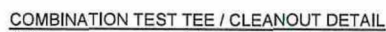
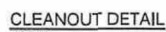
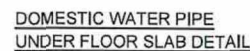
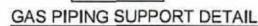
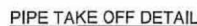
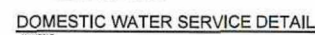
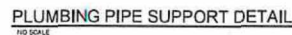
PROJECT ADDRESS
100 W. 10th St.
Madison, KY 40003

SHEET NAME
MECHANICAL BASEMENT AND SECOND FLOOR PLAN

PROJECT NO. 2018/0101
DATE: 01/17/2022
REVISIONS
NO. DESCRIPTION DATE

SHEET NUMBER
MM1.2

BID SET



GENERAL HVAC NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE STATE BUILDING CODE, STATE BUREAU CODE, INTERNATIONAL MECHANICAL CODE, NFPA 70A NATIONAL FIRE ALARM CODE AND ANY OTHER LOCAL STATE, NATIONAL OR STATE AGENCIES OR STANDARDS THAT APPLY.
2. THE CONTRACTOR SHALL ACQUIRE NEARBY PERMITS, COORDINATE ALL INTERFERENCES, AND PAY ALL UNFOUNDED FEES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND COORDINATING WITH ALL AGENCIES TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS PRIOR TO RECORD. ANY OBSERVATIONS OR QUESTIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY PRIOR TO THE END DATE.
4. THESE PLANS ARE SUBMITTED TO OBTAIN PERMITS. THE APPROPRIATE AND GENERAL LOCATION OF DUCTWORK, EQUIPMENT AND AFFIXES, COORDINATE INSTALLATION OF WORK WITH OTHER DRAWINGS AND TRACES.
5. VERIFY ALL EXISTENCES BEFORE FABRICATION AND/OR INSTALLATION.
6. PROTECT ALL EQUIPMENT AND/OR EXISTING CONDITIONS PRIOR TO REMOVAL AND/OR DAMAGE.
7. CONICAL ALL DUCTWORK, PIPING, ETC. IN CEILING AND WALL SPACES SHOULD BE NOTED OTHERWISE.
8. REMOVE AND REPLACE CEILING TILE AND/OR GARD AS REQUIRED TO INSTALL WORK, ANY DAMAGED TILE OR GRID SHALL BE REPLACED.
9. SILENCE ALL DUCTWORK PERVENTS, ETC. THROUGH NEARLY WALLS. PERVENTS SHALL BE SCHEDULED 12 AND ALUMINUM SILENCE.
10. FLASH AND SEAL AROUND FLOOR, WALL AND PENETRATIONS.
11. FIRST STEP ALL PENETRATIONS THROUGH FLOOR/CEILING ASSEMBLIES, FIRST STOPPED METHOD AND MATERIALS SHALL BE USED. LISTED, FIRE COLLAPSIBLE WALLS ARE REQUIRED WHEREVER IS COORDINATE.
12. PATCH ALL WALLS, FLOORS, CEILING AND OTHER AREAS AS REQUIRED TO BE REFINISHED BECAUSE OF WORK REQUIRED.
13. PLACE REINFORCED CONCRETE PADS FOR ALL GRADE UNDOED EQUIPMENT. CONCRETE SHALL HAVE A DEVELOPED TENSILE STRENGTH OF 4000 PSI AT 28 DAYS, CONFORM ALL EXPEDIES AFTER 14 DAYS.
14. IN THE CASE OF "CHECK" OR "REWORK" CONDITIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING CONDITIONS AND SYSTEM OPERATIONS:
15. A. AT MINIMUM, PAD DIVISIONS SHALL GENERALLY EXCEED 12" X 12" THE OUTER MOST EDGE OF THE UNIT.

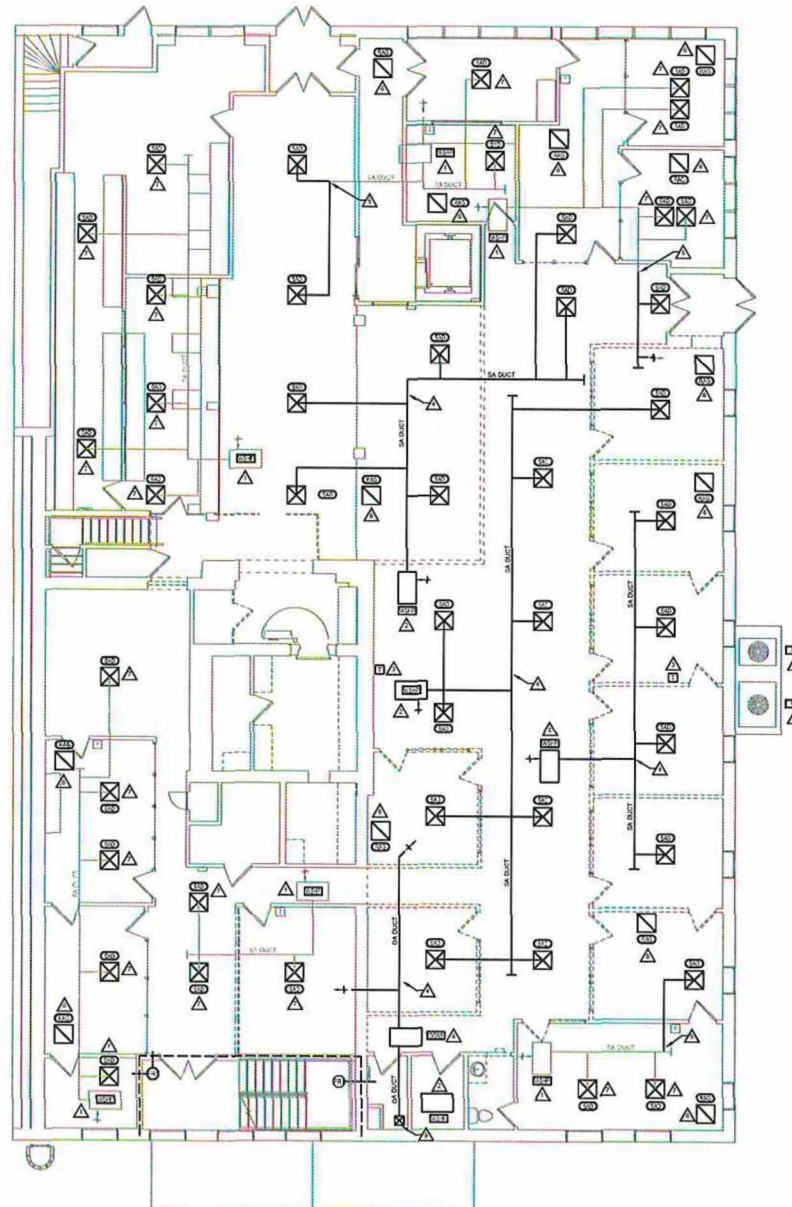
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PACKAGED AIR CONDITIONING UNIT

UNIT PHYSICAL DATA						OUTSIDE AIR		DUPLYPAN DATA				COOLING DESIGN					HEATING DESIGN					ELECTRICAL CHVN.				REMARKS AND ACCESSORIES				
MARK	MFR.	MODEL	SIZE	COEFF.	APPROX. UNIT WEIGHT (KGS)	REPAIR	OUTSIDE AIR VOL CFM	OUTSIDE AIR MAX. CFM	OUTSIDE AIR TCOIN CFM	SUPPLY AIR CFM	ESP (PA.HG)	MOTOR POWER (HP)	MOTOR RPM	MFR	TOTAL WEG	COOLING (BTU)	EAT (°F)	LAT (°F)	ET (°F)	FUEL	INPUT CAPACITY (KWH)	OUTPUT CAPACITY (KWH)	EAT (°F)	LAT (°F)	ET (°F)		VOLTAG PHASE	MCA (AMPS)	MOP (AMPS)	SCR (A)
RTU1	CARRIER	48HC	37	DDVAPL010	1.80A	R-410A	0	255	1.900	2.450	0.75	BELT	1.98	2.8	885	70.3	14.7	70.0	54.1	120A	125.0	103.0	62.2	103.3	101.3	36.0	50	0	0	SEE BELOW
RTU2	CARRIER	48HC	37	DDVAPL010	1.80C	R-410A	0	415	1.900	2.450	0.75	BELT	1.98	2.8	885	74.7	13.5	74.7	57.2	120A	125.0	103.0	58.6	99.2	101.3	36.0	50	0	0	SEE BELOW

REMARKS AND ACCESSORIES:

- PROVIDE UNIT WITH A MINIMUM 01% YEAR PARTS AND LABOR WARRANTY, FIVE (5) YEAR COMPRESSOR WARRANTY, AND TEN (10) YEAR HEAT EXCHANGER WARRANTY.
- COOLING CAPACITIES ARE BASED STANDARD AIR/SEA LEVEL CONDITIONS (68°F INLET / 78°F AMBIENT AIR TEMPERATURE, 78°F OUTLET AIR IN ROOM AIR TEMPERATURE).
- HEATING CAPACITIES ARE BASED STANDARD AIR/SEA LEVEL CONDITIONS (57°F INLET / 47°F AMBIENT AIR TEMPERATURE, 70°F IN ROOM AIR TEMPERATURE).
- PROVIDE UNIT WITH MANUFACTURER'S STARTUP AND CERTIFIED REPORT FOR ENGINEER'S REVIEW AND APPROVAL. INSTALLING CONTRACTOR START-UP IS NOT ACCEPTABLE.
- SCHEDULE SEE IS AS AM CONDITIONS.
- PROVIDE UNIT WITH 2" VIEW 1" PLATED STEEL FIBERGLASS FILTERS.
- PROVIDE UNIT WITH EXTERNAL VIBRATION ISOLATORS ON ALL PANS.
- PROVIDE UNIT WITH THERMAL OVERLOAD PROTECTION.
- PROVIDE UNIT WITH THERMAL EXPANSION VALVE (TEV) ON EACH REFRIGERANT CIRCUIT.
- PROVIDE UNIT WITH ALUMINUM STEEL HEAT EXCHANGER WITH RECUHANT GAS VALVE AND GAS SHUTOFF, DIRECT SPARK IGNITION, ELECTRONIC FLAME SENSOR, AND INDUCED-DRAFT BLOWER.
- PROVIDE UNIT WITH UNPAINTED UNFINISHED ELECTRICAL CONNECTION (INLET WITH SINGLE-POINT ELECTRICAL CONNECTION).
- PROVIDE UNIT WITH FACTORY-INSTALLED FELS (BUILT INTO) UNIT WITH FACTORY-INSTALLED OUTLET, OUTLET SHALL BE WITH POWER CONDUIT/PIPEWORK, OUTLET SHALL BE TURNED OFF.
- EQUIPMENT SHORT-CIRCUIT CURRENT RATING (SCCR) SHALL BE EQUAL TO OR GREATER THAN THE VEHICULAR CONNECTION. EQUIPMENT NAME PLATE SHALL INCLUDE SCCR BY ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE 2017 480V, SCCR SHALL BE PROVIDED FOR FIBERGLASS REVIEW ON EQUIPMENT SHOP DRAWING SUBMITTALS.
- PROVIDE UNIT WITH A FULLY INTEGRATED CORROSION RESISTANT, DOUBLE SLOPED CONDENSATE DRAIN PAN AND CONDENSATE OVERFLOW SWITCH.
- PROVIDE UNIT WITH WIGGED ACCESS PANELS.
- PROVIDE UNIT WITH H-PAK DRAIN ON CONDENSATE COLLIS.
- MANTAIN MANUFACTURER'S RECOMMENDED MINIMUM CLEARANCES.
- PROVIDE UNIT WITH ELECTRICAL, PLUMBING LOSS PROTECTION FOR ALL MOTORS.
- PROVIDE UNIT WITH THROU-ROOF POWER DUCT.
- PROVIDE UNIT WITH A MINIMUM OF TWO STAGE HEATING.
- PROVIDE UNIT WITH A MINIMUM OF TWO STAGE COOLING.
- PROVIDE UNIT WITH SCROLL COMPRESSORS.
- FURNISH UNIT WITH A FACTORY-INSTALLED DUCT SMOKE DETECTOR FOR THE RETURN AIR, RETURN AIR SMOKE DETECTOR SHALL BE INTERLOCKED WITH WAKE-UP TO SHUT DOWN THE UNIT OPERATION WHEN SMOKE IS DETECTED IN THE DUCT.
- PROVIDE UNIT WITH 100% FULLY MODULATING WAKE-UP ECONOMIZER WITH DRY-BULB CONTROLLER SHALL ONLY OPERATE WHEN OUTSIDE AIR TEMPERATURE IS 55 DEGS F OR LESS, AND SPACE CALLS FOR COOLING.
- MICHAEL CONTRACT SHALL FURNISH AND INSTALL WITH MOUNTED COILS TO MONITOR CO2 LEVELS, OUTSIDE AIR DAMPER SHALL MODULATE TO MAINTAIN ACCEPTABLE CO2 LEVELS, OUTSIDE AIR DAMPER SHALL REMAIN CLOSED WHEN SPACE CO2 LEVELS REACH 1000PPM (ADJUSTABLE AT THE FACTORY), THE OUTLET SHALL BE TURNED TO WARM-UP TO 55 DEGS F WARM-UP, OUTSIDE AIR DAMPER SHALL MODULATE UPON WARM-UP, DAMPER IS OPEN TO PROVIDE MAXIMUM AIR AT 55 DEGS F WARM-UP, SPACE CO2 LEVELS REACH 1,000 PPM.
- PROVIDE UNIT WITH MANUFACTURER'S 10-MIN PROGRAMMABLE THERMOSTAT.
- MICHAEL CONTRACT SHALL SIZE AND PROVIDE UNIT WITH DRY-BULB THERMIST (GLOBAL PLASMA SENSORS OR EQUAL) SHALL BE PROVIDED AT 24" POWERED BY 24V.
- PROVIDE UNIT WITH VARIABLE SPEED FAN MOTOR WITH VARIABLE FREQUENCY DRIVE CONTROLLER.
- FURNISH WITH INSULATED ROOF CURB, CURB HEIGHT SHALL BE MINIMUM 14" HEIGHT, CURB SHALL BE CUSTOM AND COMPATIBLE WITH ROOF TYPE AND SLOPE.



PROJECT
FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

MECHANICAL DEMOLITION TAG NOTES

(APPLIES TO THIS DRAWING ONLY)

1. EXISTING WATER SOURCE HEAT PUMP SYSTEM SHALL REMAIN.
2. DISCONNECT HYDROBIC PIPING, CONDENSATE PIPING, DUCT AND CONTROLS. REMOVE HEAT PUMP INCLUDING HANGERS, SUPPORTS, ETC. IN ITS ENTIRETY. COORDINATE REMOVAL WITH ELECTRICAL CONTRACTOR. REMOVE HYDROBIC PIPING AND CONDENSATE PIPING INCLUDING HANGERS AND SUPPORTS AS REQUIRED TO ACCOMMODATE NEW DUCT ROUTING. SEE NEW WORK PLAN. CONTRACTOR SHALL CAP HYDROBIC PIPING AND CONDENSATE PIPING.
3. REMOVE EXISTING THERMOSTAT.
4. REMOVE DUCT SYSTEM INCLUDING DUCT, DIFFUSERS, GRILLES, HANGERS AND SUPPORTS IN ITS ENTIRETY.
5. REMOVE DUCT, DIFFUSERS, GRILLES, HANGERS BACK TO THIS POINT AND CAP, INSULATE TO MATCH EXISTING.
6. REMOVE RA GRILLE.
7. DISCONNECT AND REMOVE FLEX DUCT AND SUPPLY DIFFUSER TO ACCOMMODATE NEW CEILING GRILLE. SEE NEW WORK PLAN.
8. DISCONNECT HYDROBIC PIPING, CONDENSATE PIPING, DUCT AND CONTROLS. REMOVE OUTSIDE AIR UNIT INCLUDING HANGERS, SUPPORTS, ETC. IN ITS ENTIRETY. COORDINATE REMOVAL WITH ELECTRICAL CONTRACTOR. REMOVE HYDROBIC PIPING AND CONDENSATE PIPING INCLUDING HANGERS AND SUPPORTS AS REQUIRED TO ACCOMMODATE NEW DUCT ROUTING. SEE NEW WORK PLAN. CONTRACTOR SHALL CAP HYDROBIC PIPING AND CONDENSATE PIPING.
9. REMOVE OUTSIDE AIR DUCT INCLUDING HANGERS AND SUPPORTS IN ITS ENTIRETY.
10. EXISTING HVAC EQUIPMENT SHALL REMAIN.

CLASSIFIED ASSEMBLY LEGEND

SYMBOL	DESCRIPTION	REQUIRED WORK
	HYDRAULIC ASSEMBLY	AS ALL PENETRATIONS, INSTALL AND/OR OUTCROPPINGS & EXISTAL MEMORANDUM. PENETRATIONS (RECESSED ITEMS) PER ABC SECTION 712.
AFD = AUTOMATIC FIRE CHOPPER PAPER = FIRE-RESISTANT RATED F-0-0 = FIRE-RESISTANT RATED F-3 = FIRE STOP		



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PROJECT NAME
**MADISON CO.
COURTS TEMP.
FACILITIES
RENOVATION**
PROJECT ADDRESS
100 W. 10TH ST.
Lebanon, KY 40005

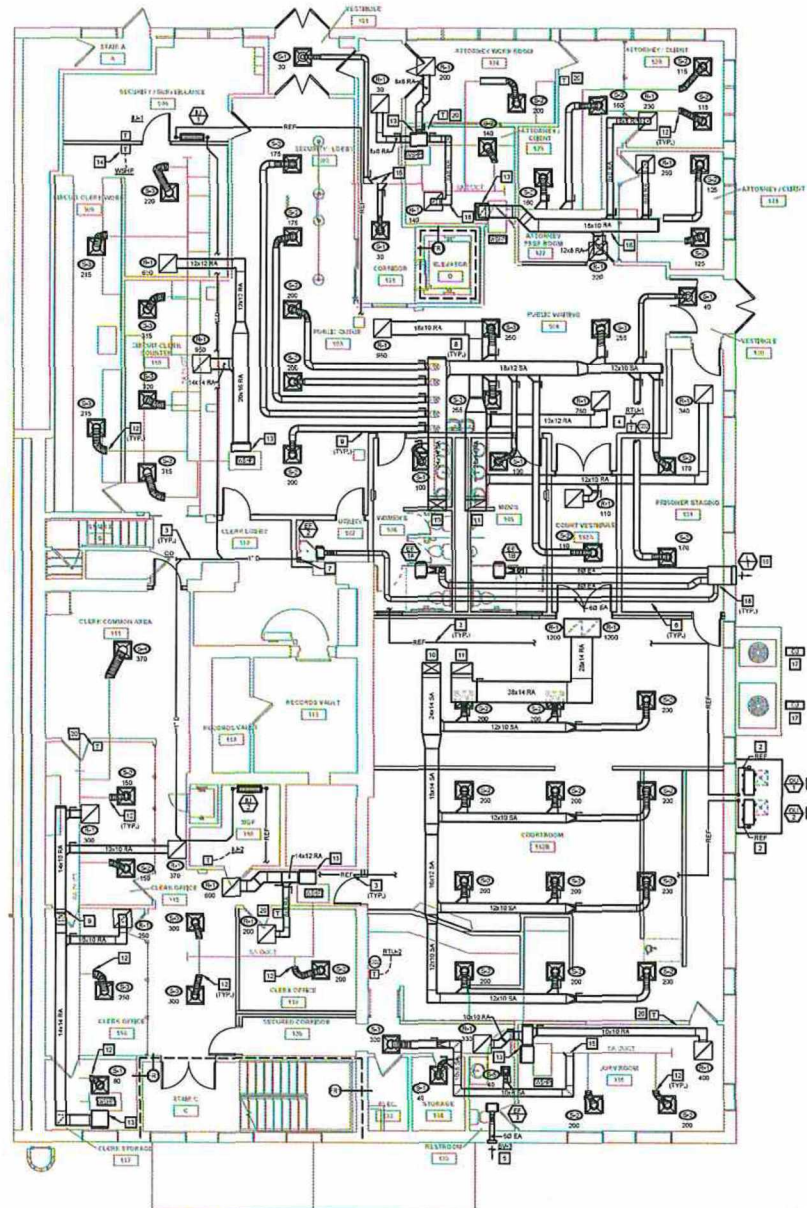
SHEET NAME
**DEMOLITION HVAC
FIRST FLOOR PLAN**

PROJECT NO. 20056/0031
DATE MAR 01, 2022
NO. 00000000
NO. 00000000

SHEET NUMBER

DHM1.1

BID SET



PROJECT
FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

MECHANICAL CONSTRUCTION TAG NOTES

- (APPLIES TO THIS DRAWING ONLY)
1. INSTALL LINE ON FACTORY WALL BRACKET. INSTALL LINE TO TERMINATE AT ALL MANUFACTURER RECOMMENDED AND VEC CLEARANCES. COORDINATE MOUNTING LOCATION WITH EXISTING HVAC EQUIPMENT AND ELECTRICAL.
 2. ROUTE REFRIGERANT LINES FROM OUTDOOR UNIT TO CORRESPONDING ROOM UNIT BY SHORTEST PATH. REFRIGERANT PIPING SHALL BE SUPPORTED BY UNBENT, POWER PIPES TO MAINTAIN CLEARANCES. INSTALL REFRIGERATION PIPING AND REFRIGERATION SPECIALTIES PER MANUFACTURER RECOMMENDATIONS. CORP. DR. OPENINGS ON EXTERIOR WALL AND SEAL OPENINGS WEATHER TIGHT. SEE HVAC DETAILS.
 3. ROUTE REFRIGERANT PIPING AND CONDENSATE PIPING ABOVE CEILING. COORDINATE ROUTING WITH EXISTING CONDITIONS AND NEIGHBORHOOD. ROUTING PIPING OVER ELECTRICAL EQUIPMENT.
 4. INSTALL LOCKABLE COVER ON THERMOSTAT. SEE GENERAL HVAC NOTES.
 5. INSTALL BRICK VENT PER MANUFACTURER RECOMMENDATIONS. INSTALL AS HIGH AS POSSIBLE, FLASH AND SEAL OPENING WEATHER TIGHT. SEE HVAC SCHEDULES.
 6. ROUTE EXHAUST AIR AS HIGH AS POSSIBLE.
 7. DROP Y CONDENSATE PIPING DOWN WALL AND TERMINATE DIRECTLY IN-DOOR DRAIN.
 8. HIDE SA DUCT AS HIGH AS POSSIBLE AND RA DUCT AS LOW AS POSSIBLE FOR ROUTING. FIELD VERIFY DUCT ELEVATIONS WITH EXISTING CONDITIONS PRIOR TO INSTALLATION. OFFSET DUCT AS REQUIRED TO ACHIEVE DESIRED ELEVATION AND TO AVOID DUCT STRUCTURE CONFLICTS.
 9. COORDINATE DUCT ROUTING WITH EXISTING STEEL BEAM FIELD VERIFY ROUTING AND FIT PRIOR TO INSTALLATION.
 10. DRAIN RA UP TO SECOND FLOOR. FIELD MEASURE FLOOR OPENING LOCATION WITH THREE ABOVE. PRIOR TO RAVOUT, COORDINATE WITH GENERAL CONTRACTOR. SEE HVAC SECOND FLOOR PLAN.
 11. DRAIN RA UP TO SECOND FLOOR. FIELD MEASURE FLOOR OPENING LOCATION WITH THREE ABOVE. PRIOR TO RAVOUT, COORDINATE WITH GENERAL CONTRACTOR. SEE HVAC SECOND FLOOR PLAN.
 12. INSTALL NEW SUPPLY TEST FUSER AND FLEX. REFER TO DUCT RAVOUT SCHEDULE BELOW AND DISCUSS FLEXIBLE SCHEDULE. CONNECT FLEX DUCT TO EXISTING DUCT BRANCH. CONTRACTOR SHALL PROVIDE FAVORABLE REQUIRED FOR CONNECTION TO EXISTING. FIELD VERIFY EXISTING DUCT SIZE AND CORNER POINTS PRIOR TO INSTALLATION. BALANCE EXISTING SYSTEM TO LINE DRAIN.
 13. INSTALL NEW RA DUCT FROM NEW RA GRILLES AND CONNECT TO EXISTING HEAT PUMP. INSTALL FULL SIZE RA PLUMB FOR DUCT CONNECTIONS. FIELD VERIFY EXISTING CONNECTIONS, LINE CONNECTIONS AND SPACE REQUIREMENTS PRIOR TO DUCT INSTALLATION.
 14. RELOCATE EXISTING THERMOSTAT TO THIS LOCATION. COVER OLD LOCATION WITH NEW 6" X 6" FIBERGLASS FIBER COVER PLATE.
 15. CONNECT EXISTING SA DUCT WITH NEW RA BRANCH DUCT AND LAMP. REFER TO DUCT RAVOUT SCHEDULE BELOW. BALANCE NEW DUCT PER SPECIFICATIONS. FIELD VERIFY CONNECTION POINT AND DUCT ROUTING. INSTALL NEW RA DUCTS. COORDINATE WITH EXISTING LOCATIONS, BALANCE TO CFM OF DUCT.
 16. ROUTE RA DUCT AS HIGH AS POSSIBLE, OFFSET AS REQUIRED AROUND EXISTING CONDITIONS.
 17. EXISTING HVAC EQUIPMENT SHALL REMAIN.
 18. CONNECT SA DUCT TO FULL SIZE LOWER PLUMB. PLUMB SHALL BE USED TO ACCOMMODATE ALL SA DUCT CONNECTIONS.
 19. INSTALL COVER, FLASH AND SEAL OPENING WEATHER TIGHT. COORDINATE OPENING WITH ARCHITECT AND OWNER.
 20. REPLACE EXISTING THERMOSTAT WITH NEW 4" X 4" PROGRAMMABLE THERMOSTAT. THERMOSTAT SHALL BE ACAP/UL OR APPROVED EQUAL. CONTRACTOR SHALL SUBMIT THERMOSTAT FOR APPROVAL PRIOR TO PURCHASE.

DUCT RUN-OUT SCHEDULE	
CFM RANGE	SIZE
0-100	6" DIA.
101-200	8" DIA.
201-300	10" DIA.
301-500	12" DIA.

CLASSIFIED ASSEMBLY LEGEND

SYMBOL	DESCRIPTION	REQUIRED WORK
	1/4" R.A. ASSEMBLY	1. ALL PENETRATIONS. INSTALL AT 2000 OUTDOOR/INDOOR & INSTALL WEATHER STRIP AT 2000. RECESS 1/4" PER 1/4" SECTION 712
	1/4" R.A. ASSEMBLY	1. ALL PENETRATIONS. INSTALL AT 2000 OUTDOOR/INDOOR & INSTALL WEATHER STRIP AT 2000. RECESS 1/4" PER 1/4" SECTION 712



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Hartford, CT 06105
P: 860.368.8702
W: www.integrityarch.com
A: 03/01/2022



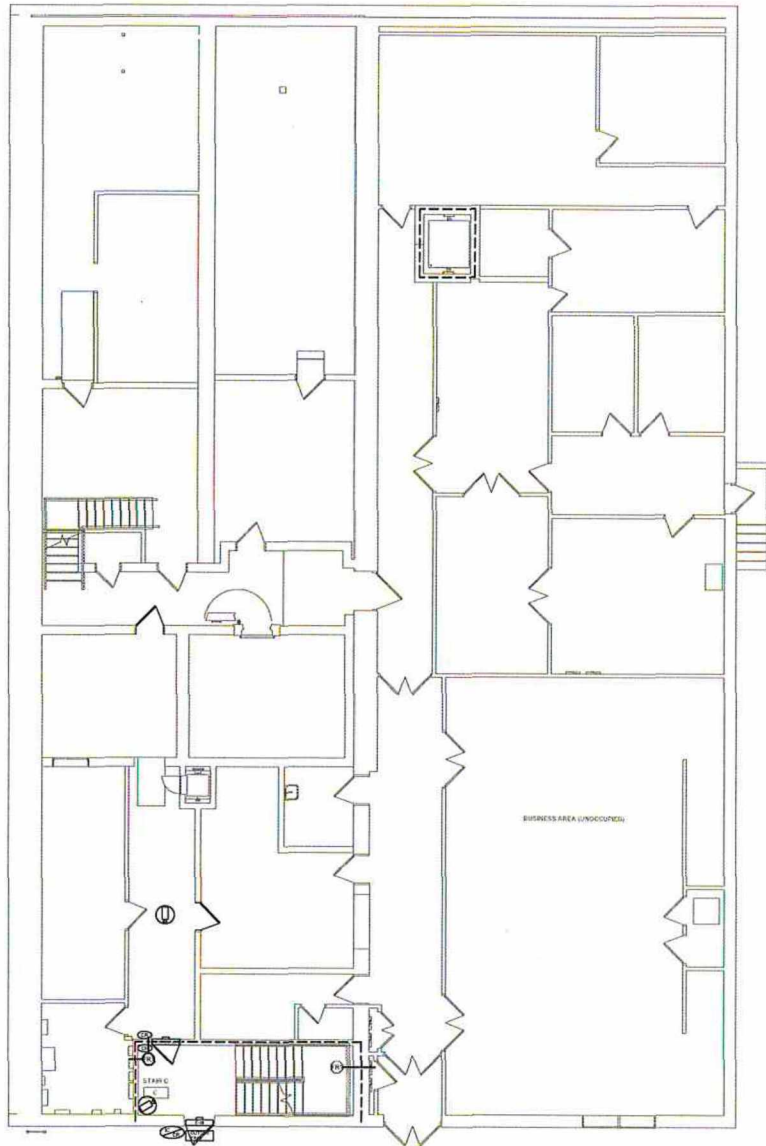
MARCUM
ENGINEERING, LLC
500 SOUTH ST. STE 202
HARTFORD, CT 06103
PHONE: 203.444.9274
FAX: 203.444.9275
C: 03/01/2022
M: 03/01/2022

PROJECT NAME
MADISON CO.
COURTS TEMP.
FACILITIES
RENOVATION
PROJECT ADDRESS
100 W. MAIN ST.
HARTFORD, CT 06105

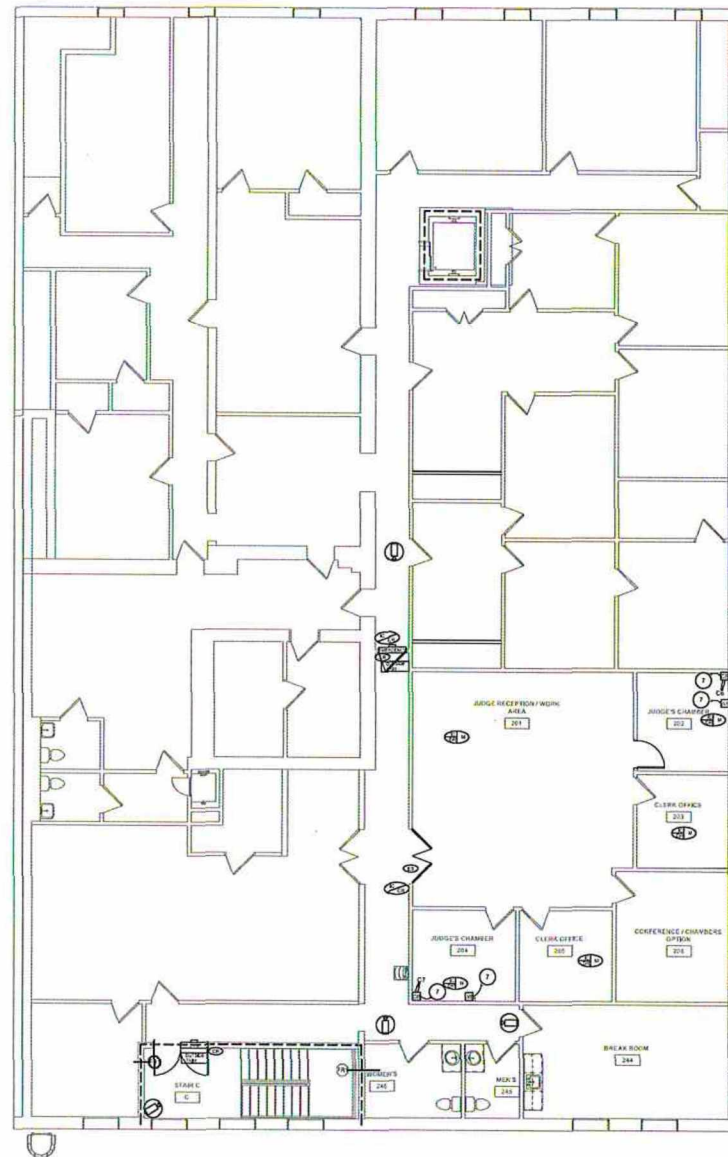
SHEET NAME
HVAC FIRST FLOOR
PLAN

PROJECT NO. 2024/00231
DATE 03/01/2022
REVISIONS
NO. DESCRIPTION DATE

SHEET NUMBER
HM1.1
BID SET



PROJECT
NOTES
⊕ **BASEMENT FLOOR PLAN**
SCALE: 3/8" = 1'-0"



PROJECT
NOTES
⊕ **SECOND FLOOR PLAN**
SCALE: 3/8" = 1'-0"

COORDINATION NOTE:

TO LIMIT DEMOLITION AND PATCH WORK, AND TO AVOID POTENTIAL UNKNOWN WHEN OPENING WALLS, THE CONTRACTOR SHALL FURNISH AND INSTALL WIRE AND SUPPLEMENT FOR NEW CIRCUITS IN AREAS OF UNDISTURBED EXISTING WALLS. ALL WIRING SHALL BE PLUMB RATED.

CLASSIFIED ASSEMBLY LEGEND		
SYMBOL	DESCRIPTION	REQUIRED WORK
1-1/2" FIRE ASSEMBLY		IF ALL PERIMETER, INSTALL AND BY DOORS OR WINGS, A INSTALL MONITORING PENETRATION (PRECEDED ITEMS) PER ABC SECTION 7.1
AFD • AUTOMATIC FIRE DAMPER		
F-R • FIRE RESISTANT RATED		
F-R • FIRE RATED WALL		
FS • FIRE STOP		



Integrity ARCHITECTURE
244 Palumbo Drive, Suite 105
Lexington, KY 40503
Tel: 859.368.9712
W: www.integrityarch.com
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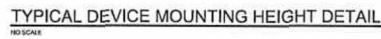
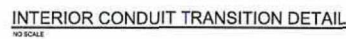
MARCUM
ENGINEERING, LLC
505 SOUTH 17TH STREET
FADICAL, KENTUCKY 40503
PHONE: 270.444.9274
WWW: marcumengineering.com
COPYRIGHT © 2021 MARCUM
ENGINEERING, LLC

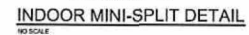
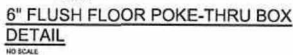
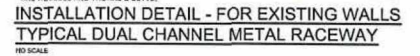
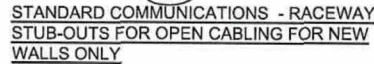
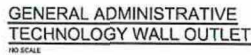
PROJECT NAME
**MADISON CO.
COURTS TEMP.
FACILITIES
RENOVATION**
PROJECT ADDRESS
155 W. 16TH ST.
LEXINGTON KY 40515

SHEET NAME
**ELECTRICAL
SECURITY
BASEMENT &
SECOND FLOOR
PLAN**

PROJECT NO. 205567/9231
DATE: MARCH 01, 2022
REVISIONS:
NO DESCRIPTION DATE

SHEET NUMBER
EM1.2.3
BID SET





LIGHTING CONTROL NARRATIVE																	
ROOM NUMBER	ROOM TITLE	MANUAL ON	MANUAL OFF	DIMMING	OVERRIDE SWITCH	MULTI ZONE SWITCH	KEY SWITCH	TIME CLOCK ON	TIME CLOCK OFF	OCCUPANCY SENSOR ON	OCCUPANCY SENSOR OFF	PHOTOCONTROL SWITCHING	PHOTOCONTROL DIMMING	EXTERIOR PHOTOCELL INPUT	WIRING DIAGRAM	SEQUENCE OF OPERATION	NOTES
-	LOBBY	X	X							X	X				WAVF, DIAG.	1	
-	VESTRIBULE									X	X				WAVF, DIAG.	1	
-	CORRIDOR	X	X							X	X				WAVF, DIAG.	8	
-	STAIR									X	X				WAVF, DIAG.	7	
-	OFFICE	X	X	X						X	X				WAVF, DIAG.	5	
-	UTILITY	X	X												WAVF, DIAG.	4	
-	TOILET									X	X				WAVF, DIAG.	7	
-	BREAK ROOM	X	X	X						X	X				WAVF, DIAG.	5	
-	CONFERENCE ROOM	X	X	X						X	X				WAVF, DIAG.	1	
-	COURTROOM	X	X	X		X				X	X				WAVF, DIAG.	1	
-	JURY ROOM	X	X	X						X	X				WAVF, DIAG.	1	
-	PROSENER STAGING	X								X	X				WAVF, DIAG.	2	
-	EXTERIOR							X	X					X	WAVF, DIAG.	6	1E TO PHOTO.

[illegible][illegible][illegible]

A. ALL DIMMERS SHALL BE ELECTRONIC, PRE-SET, SLIDER TYPE SUITABLE FOR THE CONNECTED LOAD AND SHALL BE SUITABLE FOR PROPER OPERATION WITH FIXTURES WITH DIMMING BALLASTS. FURNISH AND INSTALL REMOTE DIMMER MODULE AS NECESSARY FOR CIRCUIT LOADING AND CONTROL. SCHEMATIC DERIVED.

B. EMERGENCY SWITCHING UNIT SHALL FALL TO "OFF" POSITION FOR FAULT SAFE.

C. CONTRACTOR SHALL FIELD COORDINATE DIRECTION ARROWS OF ALL EXIT SIGNS, AS APPLICABLE TO PATH OF EGRESS FOR PUNCHOUT TYPE ARROWS. EDGE/LIT FIXTURES WITH ENGRAVED CHEVRONS SHALL BE COORDINATED DURING ORDERING, PRIOR TO JOB-SITE DELIVERY.

MECHANICAL EQUIPMENT CONNECTION SCHEDULE																
ITEM#	DESCRIPTION	VOLTAGE/PHASE	LOCATION	ELEC. DATA				CONNECTIONS					LOCAL DISCONNECTING MEANS			REMARKS/NOTES
				LOAD	UNITS	MCA	MOCP	SCCR (KA)	CONDUIT	WIRE	NEU	GND	INT. D.S. SIZE	F.O.D. SIZE	FUSE SIZE	
RT151	PACKAGED AIR-CONDITIONING UNIT	208Y	ROOF			34.0	50	5	3/4"	8		10				A, B, C, D, E
RT152	PACKAGED AIR-CONDITIONING UNIT	208Y	ROOF			34.0	50	5	3/4"	8		10				A, B, C, D, E
06-1	SPLIT HEAT PUMP SYSTEM EQUIPMENT - OUTDOOR UNIT	208Y	SITE			16.0	16		1/2"	12		12	2P15A		3R	F
06-2	SPLIT HEAT PUMP SYSTEM EQUIPMENT - OUTDOOR UNIT	208Y	SITE			16.0	16		1/2"	12		12	2P15A		3R	F
06-3	SPLIT HEAT PUMP SYSTEM EQUIPMENT - INDOOR UNIT	208Y	100 SHELTER/SURVEILLANCE			-	-	-	1/2"	12		12	2P15A		1	F, G
06-4	SPLIT HEAT PUMP SYSTEM EQUIPMENT - INDOOR UNIT	208Y	118 MSF			-	-	-	1/2"	12		12	2P15A		1	F, G
09-1	WATER HEATER	208Y	107 UTILITY	2.0	KW	12.0	15		1/2"	12		12	2P15A		1	H

ITEM #	DESCRIPTION	VOLTAGE/PHASE	LOCATION	REF. DATA				CONNECTIONS				WRT OPERATING SYSTEM		REMARKS/NOTES	
				LOAD	WRTS	MCA	MCP	CONDUCT	LINE	NEU	GRD	COND.	170 OCC. SECS		
EF-1A	EXHAUST FAN	120V1	106 WORKROOM	63	W			15	107	12	13	13			N.A.
EF-1B	EXHAUST FAN	120V1	105 REAR	63	W			15	107	12	12	12			N.A.
EF-2	EXHAUST FAN	120V1	107 UTILITY	9	W			15	107	12	12	12	X		N.A.
EF-3	EXHAUST FAN	120V1	103 RESTROOM	13	W			15	107	12	12	12	X		N.A.
EF-4	EXHAUST FAN	120V1	240 WORKROOM	13	W			15	107	12	12	12	X		N.A.
EF-5	EXHAUST FAN	120V1	243 MUSEUM	13	W			15	107	12	13	13	X		N.A.

1 THE INFORMATION ABOVE SHALL BE COORDINATED WITH THE MECHANICAL/ELECTRICAL AS TAGGED ACT. EQUIPMENT REQUIREMENTS SHALL TAKE PRECEDENCE OVER THE LITLED/NO CONTRACTOR SHALL FURNISH AND INSTALL ALL EQUIPMENT
2 REQUIRED TO PLACE EQUIPMENT IN SERVICE. EQUIPMENT MANUFACTURER SHALL BE RESPONSIBLE FOR VARIATIONS IN ELECTRICAL FIELD CONDITIONS DUE TO EQUIPMENT SUBSTITUTIONS - MODIFY OVERHEADS, ETC. WIRE SIZE ALSO AS NECESSARY.
3 THE SCHEDULE INCLUDES, BUT IS NOT LIMITED TO, THE EQUIPMENT FOUND ON THIS PROJECT. COORDINATE WITH ALL TRADES AND PROVIDE MANUFACTURER'S MINIMUM REQUIREMENTS TO ALL EQUIPMENT INSTALLED. THIS SCHEDULE IS NOT TO BE QUANTITY
4 OF EQUIPMENT, AS TO CONNECTIONS/QUANTITIES OF RESPECTIVE TRADES FOR LOCATION AND QUANTITIES
5 REFER TO BIDDING QUANTITIES OF REFINISHED PLANT FOR CRITICAL BIDDING ITEMS.
6 START/STOP/STOP SWITCHES SHALL BE LOCATED AND SIZED AS PER ARTICLE 110.14.4 AND 110.14.5 AND 110.14.6 AND 110.14.7 AND 110.14.8 AND 110.14.9 AND 110.14.10 AND 110.14.11 AND 110.14.12 AND 110.14.13 AND 110.14.14 AND 110.14.15 AND 110.14.16 AND 110.14.17 AND 110.14.18 AND 110.14.19 AND 110.14.20 AND 110.14.21 AND 110.14.22 AND 110.14.23 AND 110.14.24 AND 110.14.25 AND 110.14.26 AND 110.14.27 AND 110.14.28 AND 110.14.29 AND 110.14.30 AND 110.14.31 AND 110.14.32 AND 110.14.33 AND 110.14.34 AND 110.14.35 AND 110.14.36 AND 110.14.37 AND 110.14.38 AND 110.14.39 AND 110.14.40 AND 110.14.41 AND 110.14.42 AND 110.14.43 AND 110.14.44 AND 110.14.45 AND 110.14.46 AND 110.14.47 AND 110.14.48 AND 110.14.49 AND 110.14.50 AND 110.14.51 AND 110.14.52 AND 110.14.53 AND 110.14.54 AND 110.14.55 AND 110.14.56 AND 110.14.57 AND 110.14.58 AND 110.14.59 AND 110.14.60 AND 110.14.61 AND 110.14.62 AND 110.14.63 AND 110.14.64 AND 110.14.65 AND 110.14.66 AND 110.14.67 AND 110.14.68 AND 110.14.69 AND 110.14.70 AND 110.14.71 AND 110.14.72 AND 110.14.73 AND 110.14.74 AND 110.14.75 AND 110.14.76 AND 110.14.77 AND 110.14.78 AND 110.14.79 AND 110.14.80 AND 110.14.81 AND 110.14.82 AND 110.14.83 AND 110.14.84 AND 110.14.85 AND 110.14.86 AND 110.14.87 AND 110.14.88 AND 110.14.89 AND 110.14.90 AND 110.14.91 AND 110.14.92 AND 110.14.93 AND 110.14.94 AND 110.14.95 AND 110.14.96 AND 110.14.97 AND 110.14.98 AND 110.14.99 AND 110.14.100 AND 110.14.101 AND 110.14.102 AND 110.14.103 AND 110.14.104 AND 110.14.105 AND 110.14.106 AND 110.14.107 AND 110.14.108 AND 110.14.109 AND 110.14.110 AND 110.14.111 AND 110.14.112 AND 110.14.113 AND 110.14.114 AND 110.14.115 AND 110.14.116 AND 110.14.117 AND 110.14.118 AND 110.14.119 AND 110.14.120 AND 110.14.121 AND 110.14.122 AND 110.14.123 AND 110.14.124 AND 110.14.125 AND 110.14.126 AND 110.14.127 AND 110.14.128 AND 110.14.129 AND 110.14.130 AND 110.14.131 AND 110.14.132 AND 110.14.133 AND 110.14.134 AND 110.14.135 AND 110.14.136 AND 110.14.137 AND 110.14.138 AND 110.14.139 AND 110.14.140 AND 110.14.141 AND 110.14.142 AND 110.14.143 AND 110.14.144 AND 110.14.145 AND 110.14.146 AND 110.14.147 AND 110.14.148 AND 110.14.149 AND 110.14.150 AND 110.14.151 AND 110.14.152 AND 110.14.153 AND 110.14.154 AND 110.14.155 AND 110.14.156 AND 110.14.157 AND 110.14.158 AND 110.14.159 AND 110.14.160 AND 110.14.161 AND 110.14.162 AND 110.14.163 AND 110.14.164 AND 110.14.165 AND 110.14.166 AND 110.14.167 AND 110.14.168 AND 110.14.169 AND 110.14.170 AND 110.14.171 AND 110.14.172 AND 110.14.173 AND 110.14.174 AND 110.14.175 AND 110.14.176 AND 110.14.177 AND 110.14.178 AND 110.14.179 AND 110.14.180 AND 110.14.181 AND 110.14.182 AND 110.14.183 AND 110.14.184 AND 110.14.185 AND 110.14.186 AND 110.14.187 AND 110.14.188 AND 110.14.189 AND 110.14.190 AND 110.14.191 AND 110.14.192 AND 110.14.193 AND 110.14.194 AND 110.14.195 AND 110.14.196 AND 110.14.197 AND 110.14.198 AND 110.14.199 AND 110.14.200 AND 110.14.201 AND 110.14.202 AND 110.14.203 AND 110.14.204 AND 110.14.205 AND 110.14.206 AND 110.14.207 AND 110.14.208 AND 110.14.209 AND 110.14.210 AND 110.14.211 AND 110.14.212 AND 110.14.213 AND 110.14.214 AND 110.14.215 AND 110.14.216 AND 110.14.217 AND 110.14.218 AND 110.14.219 AND 110.14.220 AND 110.14.221 AND 110.14.222 AND 110.14.223 AND 110.14.224 AND 110.14.225 AND 110.14.226 AND 110.14.227 AND 110.14.228 AND 110.14.229 AND 110.14.230 AND 110.14.231 AND 110.14.232 AND 110.14.233 AND 110.14.234 AND 110.14.235 AND 110.14.236 AND 110.14.237 AND 110.14.238 AND 110.14.239 AND 110.14.240 AND 110.14.241 AND 110.14.242 AND 110.14.243 AND 110.14.244 AND 110.14.245 AND 110.14.246 AND 110.14.247 AND 110.14.248 AND 110.14.249 AND 110.14.250 AND 110.14.251 AND 110.14.252 AND 110.14.253 AND 110.14.254 AND 110.14.255 AND 110.14.256 AND 110.14.257 AND 110.14.258 AND 110.14.259 AND 110.14.260 AND 110.14.261 AND 110.14.262 AND 110.14.263 AND 110.14.264 AND 110.14.265 AND 110.14.266 AND 110.14.267 AND 110.14.268 AND 110.14.269 AND 110.14.270 AND 110.14.271 AND 110.14.272 AND 110.14.273 AND 110.14.274 AND 110.14.275 AND 110.14.276 AND 110.14.277 AND 110.14.278 AND 110.14.279 AND 110.14.280 AND 110.14.281 AND 110.14.282 AND 110.14.283 AND 110.14.284 AND 110.14.285 AND 110.14.286 AND 110.14.287 AND 110.14.288 AND 110.14.289 AND 110.14.290 AND 110.14.291 AND 110.14.292 AND 110.14.293 AND 110.14.294 AND 110.14.295 AND 110.14.296 AND 110.14.297 AND 110.14.298 AND 110.14.299 AND 110.14.300 AND 110.14.301 AND 110.14.302 AND 110.14.303 AND 110.14.304 AND 110.14.305 AND 110.14.306 AND 110.14.307 AND 110.14.308 AND 110.14.309 AND 110.14.310 AND 110.14.311 AND 110.14.312 AND 110.14.313 AND 110.14.314 AND 110.14.315 AND 110.14.316 AND 110.14.317 AND 110.14.318 AND 110.14.319 AND 110.14.320 AND 110.14.321 AND 110.14.322 AND 110.14.323 AND 110.14.324 AND 110.14.325 AND 110.14.326 AND 110.14.327 AND 110.14.328 AND 110.14.329 AND 110.14.330 AND 110.14.331 AND 110.14.332 AND 110.14.3

ELECTRICAL	UNIT FURNISHED WITH UNIT-ACQUIRED NONVULNERABLE ELECTRICAL DISCONNECT SWITCH WITH SINGLE-POLE ELECTRICAL CONNECTION. UNIT FURNISHED WITH FACTORY MOUNTED, PHASE-INSULATED 115/100 VOLT POWER COORDINATION OUTLET. EQUIPMENT SHORT-CIRCUIT CURRENT RATING (SCCR) SHALL BE EQUAL TO, OR GREATER THAN THE AIR-BREAK AS SCHEDULED. EQUIPMENT NAME PLATE SHALL INCLUDE SCCR IN ACCORDANCE WITH THE NHTD PROVIDED FOR UNDERBUSH REVIEW ON EQUIPMENT AS SHOWN ON DRAWING SUBMITTALS. UNIT FURNISHED WITH TWO HOURS BATTERY BACKUP. MECHANICAL CONTRACTOR SHALL FURNISH AND INSTALL A DUCT SMOKE DETECTOR FOR THE RETURN AIR DUCT. SMOKE DETECTOR SHALL BE #RFD6000 WITH INTRAC LIFT TO SHUT DOWN THE ENTIRE SYSTEM. ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL ELECTRICAL DETECTORS FOR ROBOOR AND OUTDOOR USE. ROBOOR UNIT AND CONDENSATE PUMP SHALL BE PROTECTED BY OUTDOOR USE. FURNISH AND INSTALL MANUAL MOTOR STARTER SWITCH WITH OVERLOADS, SUITABLY RATED AND RATED FOR RESISTIVE TYPE LOADS, TO SERVE AS LOCAL, ON-OFF, INQUIRY ADJUSTED TO HEATER. UNIT FURNISHED WITH FACTORY WIND, PLUG TYPE DISCONNECT. B.E. TO FURNISH FAN SPEED CONTROLLER SUPPLIED WITH UNIT. UNIT SHALL BE ELECTRICALLY INTERLOCKED WITH FAN CONTROLLER BY ZONE JELF CONTROL. UNIT SHALL BE CONTROLLED BY A DEKATED SWITCH RATED BREAKER, UNIT SHALL RUN CONTINUOUSLY. SWITCH RATED BREAKER SHALL BE FURNISHED AND INSTALLED BY THE ELECTRICAL CONTRACTOR.
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PROJECT NAME
MADISON CO.
COURTS TEMP
FACILITIES
RENOVATION
PROJECT ADDRESS
116 W. Main St
Richmond, KY 40475

SHEET NAME
**ELECTRICAL
LIGHTING &
MECHANICAL
EQUIPMENT
CONNECTION
SCHEDULES**

PROJECT NO.	20558/92	
DATE	MAR 07, 20	
REVISIONS		
NO.	DESCRIPTION	DATE

SHEET NUMBER
EM5.1
BID SET

**MADISON COUNTY FISCAL COURT
MADISON COUNTY, KY
RESOLUTION 2022-06**

**A RESOLUTION TO ENTER INTO A CONTRACTUAL AGREEMENT BETWEEN
INTEGRITY ARCHITECTURE, PLLC AND MADISON COUNTY FISCAL COURT**

WHEREAS, the Madison County Fiscal Court desires to enter into a Contractual Agreement between Integrity Architecture, PLLC and Madison County Fiscal Court ("Owner"); and

WHEREAS, this Agreement is for the Madison County Temporary Court Facility Renovation Project; and

WHEREAS, the Madison County Temporary Court Facility Renovation Project ("Project") is a renovation of the existing facility located at 116 West Main Street, Richmond, Kentucky for the temporary use of the Madison County Circuit Court staff while the existing Madison County Courthouse is being renovated; and

WHEREAS, the Architect shall provide architectural services for the Project as described in the Agreement attached hereto; and

WHEREAS, the Architect shall assist the Owner in determining consulting services required for the Project; and

WHEREAS, this Agreement supersedes all previous Contracts and/or Agreements between Integrity Architecture, PLLC and Madison County Fiscal Court for the Temporary Court Facility Renovation Project;

NOW, THEREFORE, BE IT RESOLVED THAT THE FISCAL COURT DOES HEREBY APPROVE TO ENTER INTO THIS AGREEMENT AND AUTHORIZES THE JUDGE EXECUTIVE TO EXECUTE SAME ON BEHALF OF THE COUNTY TO GO INTO EFFECT RETROACTIVELY DECEMBER 10, 2021.

Motion made by Tudor, seconded by Bathie.

Vote:

Yes

No

Judge Reagan Taylor
Magistrate Ben Robinson III
Magistrate John Tudor
Magistrate Roger Barger
Magistrate Tom Botkin

<u>✓</u>	<u> </u>
<u>✓</u>	<u> </u>
<u>✓</u>	<u> </u>
<u>✓</u>	<u> </u>

Signed:

R-T-
Reagan Taylor
Madison County Judge Executive

1-11-2022
Date

Attested:

K. Barger
Kenny Barger
Madison County Clerk

1-11-22
Date

AIA® Document B105™ – 2017

Standard Short Form of Agreement Between Owner and Architect

AGREEMENT made as of the Tenth day of December in the year Two Thousand Twenty-one

(In words, indicate day, month and year.)

BETWEEN the Owner:

(Name, legal status, address and other information)

Madison County Fiscal Courts
Reagan Taylor, County Judge Executive
135 West Irvine Street. Richmond Kentucky

and the Architect:

(Name, legal status, address and other information)

integrity / Architecture, pllc
Aaron Bivens, AIA
2414 Palumbo Drive, Suite 125. Lexington Kentucky

for the following Project:

(Name, location and detailed description)

Madison County Temporary Court Facility
Richmond Kentucky
The Madison County Temporary Court Facility is a renovation of the existing facility located at 116 W. Main Street, Richmond Kentucky for the temporary use of the Madison County Circuit Court staff while the existing Madison County Courthouse is being renovated.

The Owner and Architect agree as follows.

ADDITIONS AND DELETIONS:

The author of this document has added information needed for its completion. The author may also have revised the text of the original AIA standard form. An *Additions and Deletions Report* that notes added information as well as revisions to the standard form text is available from the author and should be reviewed. A vertical line in the left margin of this document indicates where the author has added necessary information and where the author has added to or deleted from the original AIA text.

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

Init.

ARTICLE 1 ARCHITECT'S RESPONSIBILITIES

The Architect shall provide architectural services for the Project as described in this Agreement. The Architect shall perform its services consistent with the professional skill and care ordinarily provided by architects practicing in the same or similar locality under the same or similar circumstances. The Architect shall perform its services as expeditiously as is consistent with such professional skill and care and the orderly progress of the Project. The Architect shall assist the Owner in determining consulting services required for the Project. The Architect's services include the following consulting services, if any:

Mechanical, electrical, plumbing and fire suppression engineering and design by Marcum Engineering. Structural engineering and assessment by Brown + Kubican Engineers. Interior design services by Design Link Interiors

During the Design Phase, the Architect shall review the Owner's scope of work, budget and schedule and reach an understanding with the Owner of the Project requirements. Based on the approved Project requirements, the Architect shall develop a design, which shall be set forth in drawings and other documents appropriate for the Project. Upon the Owner's approval of the design, the Architect shall prepare Construction Documents indicating requirements for construction of the Project and shall coordinate its services with any consulting services the Owner provides. The Architect shall assist the Owner in filing documents required for the approval of governmental authorities, in obtaining bids or proposals, and in awarding contracts for construction.

During the Construction Phase, the Architect shall act as the Owner's representative and provide administration of the Contract between the Owner and Contractor. The extent of the Architect's authority and responsibility during construction is described in AIA Document A105™-2017, Standard Short Form of Agreement Between Owner and Contractor. If the Owner and Contractor modify AIA Document A105-2017, those modifications shall not affect the Architect's services under this Agreement, unless the Owner and Architect amend this Agreement.

ARTICLE 2 OWNER'S RESPONSIBILITIES

The Owner shall provide full information about the objectives, schedule, constraints and existing conditions of the Project, and shall establish a budget that includes reasonable contingencies and meets the Project requirements. The Owner shall provide decisions and furnish required information as expeditiously as necessary for the orderly progress of the Project. The Architect shall be entitled to rely on the accuracy and completeness of the Owner's information. The Owner shall furnish consulting services not provided by the Architect, but required for the Project, such as surveying, which shall include property boundaries, topography, utilities, and wetlands information; geotechnical engineering; and environmental testing services. The Owner shall employ a Contractor, experienced in the type of Project to be constructed, to perform the construction Work and to provide price information.

ARTICLE 3 USE OF DOCUMENTS

Drawings, specifications and other documents prepared by the Architect are the Architect's Instruments of Service, and are for the Owner's use solely with respect to constructing the Project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Upon completion of the construction of the Project, provided that the Owner substantially performs its obligations under this Agreement, the Architect grants to the Owner a license to use the Architect's Instruments of Service as a reference for maintaining, altering and adding to the Project. The Owner agrees to indemnify the Architect from all costs and expenses related to claims arising from the Owner's use of the Instruments of Service without retaining the Architect. When transmitting copyright-protected information for use on the Project, the transmitting party represents that it is either the copyright owner of the information, or has permission from the copyright owner to transmit the information for its use on the Project.

ARTICLE 4 TERMINATION, SUSPENSION OR ABANDONMENT

In the event of termination, suspension or abandonment of the Project by the Owner, the Architect shall be compensated for services performed. The Owner's failure to make payments in accordance with this Agreement shall be considered substantial nonperformance and sufficient cause for the Architect to suspend or terminate services. Either the Architect or the Owner may terminate this Agreement after giving no less than seven days' written notice if the Project is suspended for more than 90 days, or if the other party substantially fails to perform in accordance with the terms of this Agreement. Except as otherwise expressly provided herein, this Agreement shall terminate one year from the date of Substantial Completion.

ARTICLE 5 MISCELLANEOUS PROVISIONS

This Agreement shall be governed by the law of the place where the Project is located. Terms in this Agreement shall have the same meaning as those in AIA Document A105-2017, Standard Short Form of Agreement Between Owner and Contractor. Neither party to this Agreement shall assign the contract as a whole without written consent of the other.

Nothing contained in this Agreement shall create a contractual relationship with, or a cause of action in favor of, a third party against either the Owner or the Architect.

The Architect shall have no responsibility for the discovery, presence, handling, removal or disposal of, or exposure of persons to, hazardous materials or toxic substances in any form at the Project site.

ARTICLE 6 PAYMENTS AND COMPENSATION TO THE ARCHITECT

The Architect's Compensation shall be:

Compensation for the design and engineering services referenced above will be set at 7% of the construction cost of the renovation. For the purpose of this agreement, the Architect will use the Construction Manager's most recent cost opinion to estimate the cost of the construction and percentage-based design fee.

DW Wilburn estimated construction cost = \$1,200,000.00
Design Fee established at 7% of estimated construction cost = \$84,000.00.

Because a portion of this work was performed under a separate contract, the Architect will credit the previous Schematic Design phase work contracted and paid by the Madison County Fiscal Courts to this agreement.

Estimated design fee= \$84,000 less previously paid Schematic Design fees of \$13,500.00 = \$70,500.00

Design services will be billed in milestones upon completion of the work. These milestones are as follows:

Design Development: 40%- \$28,250.00
Construction Documents: 40%- \$28,250.00
Construction Administration: 20%- \$14,000.00
(billed in two equal invoices of \$7,000 during construction)

If an increased construction cost is required and approved above the \$1,200,000.00 listed above, the percentage-based increase will be added evenly to the Construction Administration service invoices.

The Owner shall pay the Architect an initial payment of zero (\$ 0) as a minimum payment under this Agreement. The initial payment shall be credited to the final invoice

The Owner shall reimburse the Architect for expenses incurred in the interest of the Project, plus zero percent (0 %).

Payments are due and payable upon receipt of the Architect's monthly invoice. Amounts unpaid thirty (30) days after the invoice date shall bear interest from the date payment is due at the rate of one percent (1 %) , or in the absence thereof, at the legal rate prevailing at the principal place of business of the Architect.

At the request of the Owner, the Architect shall provide additional services not included in Article 1 for additional compensation. Such additional services may include, but not be limited to, providing or coordinating services of consultants not identified in Article 1; revisions due to changes in the Project scope, quality or budget, or due to Owner-requested changes in the approved design; evaluating changes in the Work and Contractors' requests for substitutions of materials or systems; providing services necessitated by the Contractor's failure to perform; and the extension of the Architect's Article 1 services beyond nine (9) months of the date of this Agreement through no fault of the Architect.

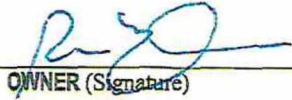
ARTICLE 7 OTHER PROVISIONS

(Insert descriptions of other services and modifications to the terms of this Agreement.)

Init.

Not applicable

This Agreement entered into as of the day and year first written above.



OWNER (Signature)

Reagan Taylor County Judge Executive
(Printed name and title)



ARCHITECT (Signature)

Aaron Bivens, AIA Principal
(Printed name, title, and license number, if required)

init.